

**Borough of Freehold  
Planning Board  
Agenda No. 20-14  
December 9, 2020**

The Freehold Borough Planning Board will hold a Video Conferencing Online Meeting on Wednesday, December 9, 2020 at 7:00 PM in accordance with the New Jersey State Emergency Declaration.

1. Call to order and statement of compliance. Adequate notice of this meeting has been provided by posting a copy of public meeting dates on the municipal bulletin board and by sending a copy to the Asbury Park Press and the News Transcript and filing a copy with the Municipal Clerk.
2. Roll call of members and consultants.

**Mr. Kevin A. Kane, Mayor  
Mr. William Barricelli, Class IV Member  
Mr. Paul Ceppi, Class IV Member  
Mr. Michael McCabe, Class IV Member  
Mr. Garry Jackson, Class II Member  
Mr. Michael Wildermuth, IV Member  
Ms. Shealyn M.S. Crombie, Class IV  
Ms. Caridad Argote-Freyre, Class IV  
Mrs. Margaret Rogers, Class III Member  
Ms. Brianne Kozlowski, Alternate I  
Mr. Ronald D. Cucchiaro, Esq., Board Attorney  
Mr. William Wentzien, PE, Board Engineer**

3. Approval of Minutes from the Meeting of November 10, 2020. (See Attachment I)
4. Freehold Center Core Redevelopment Zone Resolution No. 155-20 adopted November 16, 2020 and Introduction of Ordinance #2020/18 Approving and Adopting the November 2, 2020 Amendment to the 2019 Center Core Rehabilitation Plan. (See Attachment II)

Borough of Freehold  
Planning Board  
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5. Application Number: PB-UV-2020-005  
Applicant Broadway Family Health Care  
Location: 13 Broadway - Block 42, Lot 10  
Zone: B-1  
Request: Use Variance & Final Site Plan  
(See Attachment III)  
Carried/continue from October 28 & November 10, 2020
6. Adjourn.

\*All backup material in regards to the agenda can be viewed in the Land Use office and on our website [http://www.freeholdboroughnj.gov/PB/PB\\_agendas.html](http://www.freeholdboroughnj.gov/PB/PB_agendas.html)

  
Dominica R. Napolitano  
Planning Board Secretary  
December 4, 2020

# ATTACHMENT I

## **FREEHOLD BOROUGH PLANNING BOARD**

### **MINUTES OF NOVEMBER 10, 2020**

#### **MONTHLY MEETING**

The monthly meeting of the Freehold Borough Planning Board was held on Tuesday, November 10, 2020 at 7:00 p.m. remotely in accordance with the New Jersey State Emergency Declaration.

Chairman Barricelli stated that this meeting was provided in accordance with the Open Public Meeting Act, by providing a copy of the agenda to the official newspaper and posting same on the official bulletin board of the Municipal Building.

#### **ROLL CALL**

PRESENT	Mr. William Barricelli
PRESENT	Mr. Paul Ceppi
ABSENT	Mr. Michael McCabe
PRESENT	Mr. Michael Wildermuth
PRESENT	Mr. Garry Jackson
PRESENT	Ms. Shealyn M.S. Crombie
PRESENT	Ms. Caridad Argote-Freyre
ABSENT	Councilwoman Margaret Rogers
PRESENT	Ms. Brianne Kozlowski

#### **Mr. Barricelli read Item No. 3 on the Agenda as follows:**

##### **Approval of Minutes from Planning Board Meeting October 28, 2020**

Mr. Wildermuth made a motion to approve the minutes, Ms. Crombie seconded.

Yes	7	Barricelli, Ceppi, Wildermuth, Jackson, Crombie, Argot-Freyre and Kozlowski
No	0	
Abstain	0	
Absent	2	McCabe & Councilwoman Rogers

#### **Mr. Barricelli read Item No. 4 on the Agenda as follows:**

Application Number: PB-UV-2020-005

Applicant: Broadway Family Health Care / 13 Broadway Realty LLC

Location: 13 Broadway - Block 42 Lots 10 - Zone: B-1

Request: Use Variance & Preliminary and Final Site Plan

Carried from October 28, 2020

Vincent E. Halleran Jr., Esq –representing applicant, 13 Broadway Realty LLC / Broadway Family Health Care; I have had a conversation with Ron Cucchiaro, Esq Board Attorney and the applicants engineer needs more time to get some items sorted out; we are asking to carry this to the next meeting date;

Mr. Barricelli – Mr. Miller is this appropriate;

John P. Miller, Esq. – it is the applicants right to request the application be carried, therefore, Application PB-UV-2020-005 Applicant is Broadway Family Health Care, scheduled to be heard this evening, will be carried to the Boards next meeting Wednesday, December 9, 2020 at 7:00pm which will be a remote meeting all documents will be on the towns website for review; additional document submitted 48 hours in advance; no further notice to property owners; if you are a member of the public and received a written notice for this matter, you will not receive another notice, this is your notice that this application is being carried to the next meeting date; if anyone



should wish to review the documents or any part of the application, they can view on-line and also contact Dominica Napolitano to inspect the application and any documents therein;

Mr. Barricelli – thank you;

Mr. Barricelli – Brianne, anything with HPC we should know about;

Ms. Kozlowski – spoke with Dominica earlier about reviewing applications prior to use approval; it doesn't make sense for HPC to approve prior; better process for everyone if HPC is not involved until the use is established; at our last meeting we approved, made recommendations for aluminum coated ramp rather than plastic, not only in terms of design but in strength, powder coated will survive better over time than PVC; we spoke about windows, but it will be a separate application, if approved by Board, they will need to go back to HPC for windows; Greg Clark suggested repair rather than replace; to be clear to the Planning Board knows, we will most always suggest that, that is better for preservation; it is not specific to this application; depending on how this application moves forward, we are in a unique position to understand the design intent of the Center Core Rehab standards, this building is in the historic district and has been stripped of most architectural detail over the last century, this is an opportunity to reinstate and ask for design intent; this is a suggestions and not something the HPC has recommended at this point;

Mr. Barricelli – Dominica anything;

Ms. Napolitano – nothing;

Mr. Barricelli – any board members have comments or motion to adjourn;

Mr. Jackson made a motion to adjourn; seconded by Ms. Crombie;

All in favor; Aye (all) – Nay (none)

Mr. Barricelli – thank you all for coming tonight.

Meeting adjourned at 7:11 PM.

Respectfully submitted,

Dominica R. Napolitano

## ATTACHMENT II

OFFERED BY: <u>Rogers</u>				SECONDED BY: <u>Reich</u>			
AYE	NAY	ABSENT	ABSTAIN	AYE	NAY	ABSENT	ABSTAIN
DI BENEDETTO				ROGERS			
JORDAN				SCHNURR			
REICH				SHUTZER			

I, TRACI L. DIBENEDETTO, CLERK OF THE BOROUGH OF FREEHOLD, DO HEREBY CERTIFY THAT THE FOLLOWING RESOLUTION WAS ADOPTED BY THE MAYOR AND COUNCIL OF THE BOROUGH OF FREEHOLD AT THE REGULAR MEETING HELD: NOVEMBER 16, 2020.

  
 TRACI L. DIBENEDETTO, BOROUGH CLERK

Resolution No. 155-20  
 Agenda NO: 20/2020

RESOLUTION OF MAYOR AND COUNCIL OF THE BOROUGH OF FREEHOLD  
 ACTING AS REDEVELOPMENT ENTITY FOR THE FREEHOLD CENTER CORE  
 REDEVELOPMENT ZONE  
 RE: APPLICATION OF AUTO PRO  
 BLOCK 62, LOT 23.01 & 24

**WHEREAS,** The site is known as Block 62, Lots 23.01 & 24. Lot 23.01 faces and abuts the Market Yard Parking Lot. Lot 24 fronts on Hudson Street, and the rear abuts the Market Yard Parking Lot.

**WHEREAS,** Lots 23.01 & 24 are located within the B-2 General Commercial Zone, and the Freehold Center Historic District Area. Lot 23.01 is also located within the 2019 Center Core Rehabilitation Plan Area, Downtown Zone. Lot 24 is also located within the 2019 Center Core Rehabilitation Plan Area, Neighborhood Zone, Secondary Frontage.

**WHEREAS,** Applicant proposes to expand the building footprint on Lot 23.01 by providing an additional 6,623 s.f. The additional building area will utilize the current open area on Lot 23.01. This will result in an overall proposed building footprint of 11,043 s.f.; and

**WHEREAS,** Applicant proposes to subdivide Lot 24 into two lots. The proposed subdivision line will line up with the rear lot line of Lot 23.01. The portion of Lot 24 directly adjacent to Lot 23.01 will contain 4,500 s.f., and is labeled as proposed Lot 24.02. The remaining portion of Lot 24 will contain 6,500 s.f., fronting on Hudson

Street, containing the existing dwelling, and labeled as proposed Lot 24.01.; and

**WHEREAS**, proposed Lot 24.02 will be developed into a paved parking area with the garage to be removed.

**WHEREAS**, the governing body has reviewed the testimony exhibits and expert reports and made the following findings of fact and law:

1. Lots 23.01 & 24 are located within the B-2 General Commercial Zone, and the Freehold Center Historic District Area. Lot 23.01 is also located within the 2019 Center Core Rehabilitation Plan Area, Downtown Zone. Lot 24 is also located within the 2019 Center Core Rehabilitation Plan Area, Neighborhood Zone, Secondary Frontage.

2. The Applicant STIPULATED that if approved, Lots 23.01 and new lot 24.02 would be consolidated.

3. The proposal will affect public facilities as follows:

- a. Removal of four (4) existing public parking spaces within the Market Yard Parking Lot.
- b. Provide six (6) parking spaces on Lot 24.02 as public parking spaces off the Market Yard Parking Lot.
- c. Propose one (1) parking space for private use by the applicant as employee parking, within the Market Yard Parking Lot.
- d. Connect a proposed storm line into an existing storm inlet within the Market Yard Parking Lot (Easement would be required).

4. Auto related uses are permitted with conditions in the Downtown Zone (applicable to Lot 23.01). 'Preexisting auto-related uses are permitted in the downtown zone on secondary frontages only. Such uses may be renovated, provided the existing use is not expanded more than 20% of the (footprint or FAR).' The auto use building on Lot 23.01 and the parking lot on Lot 24.02 do not have frontages on a public street. For point of information, Hudson Street is classified as Secondary Frontage. **The existing building is proposed to expand by some 150%.**

5. Auto related uses are NOT permitted in the Neighborhood Zone (applicable to



proposed lot 24.02).

6. Applicant introduced the following:

**A-1** Preliminary and Final Minor Site Plan Block 62, Lots 23.01 & 24, Borough of Freehold, New Jersey', prepared by KBA Engineering Services, LLC, consisting of four (4) sheets. Sheet 1 dated February 14, 2018, revised to June 22, 2018. Sheets 2 & 4 dated February 14, 2018. Sheet 3 dated February 14, 2018, revised to September 10, 2019.

**A-2** Final Minor Subdivision Plat, prepared for Lot 24, Block 62, situated in the Borough of Freehold, Monmouth County, NJ', prepared by Clearpoint Services, LLC, consisting of one (1) sheet, dated January 17, 2020.

**A-3** Architectural Plans, consisting of 3 pages prepared by Bach & Clark, dated 4-16-18.

7. Applicant's engineer Joseph Kociubo testified and explained the proposal. He stated that after subdivision, the remainder of lot 24 would be non-compliant in lot coverage and lot square feet.

8. Applicant STIPULATED that the existing garage on Lot 24 will be removed.

9. The auto body repair shop as proposed will be deficient by 6 parking spaces. The Applicant would be required to make a contribution to the Borough Municipal Parking Capital Improvement Fund.

10. Applicant will be required to request a determination from the Historic Preservation Advisory Commission a determination as to whether the proposed structures are "Key", "Contributing", or "Non-contributing" as defined in the ordinance.

11. Several bulk variances will be required for this Application. The proposed site work will require application to the Freehold Borough Planning Board. The proposed subdivision will require application to the Freehold Borough Planning Board. Variances, waivers or deviations from bulk standards and design criteria as outlined in the 2019CCRP will require the granting of the appropriate approvals from the Planning Board.



12. The Planning Board may not grant variances for use and other standards governed by N.J.S.A.40:55D-70d. Any relief from standards otherwise governed by N.J.S.A.40:55D-70d shall require that this Rehabilitation Plan be amended. The proposed expansion arises to a use variance, expansion of a nonconforming use, both because the expansion is over 20% and a portion of the property is in the Neighborhood Zone.

13. The Redevelopment Entity members discussed that the use has been present in its location for many, many years. Members were of the opinion that the proposed expansion and improvements would be a benefit to the Market Yard and would have no negative impact.

14. It is the recommendation that the 2019 Core Redevelopment Plan to remove the proposed new lot 24.02 from the Neighborhood Zone and make the line of demarcation to continue along the existing rear line of lot 23.01.

15. It is the further recommendation that the limitation of 20% expansion to an existing auto related use be deleted or increased.

**NOW, THEREFORE BE IT RESOLVED** by the Mayor and Council, acting as the Redevelopment Entity, that it recommends amendment to Section 3.a.2 of the 2019 Core Redevelopment Plan which states: "...Such uses may be renovated, provided the existing use is not expanded more than 20% of the (footprint or FAR)...." To allow for a greater percentage of expansion. Council refers this to its Planner for proposed new language.

**BE IT FURTHER RESOLVED** that the Borough Planner review the boundary line for the Neighborhood Zone and recommend a revised boundary line which would be consistent with the Downtown Zone lines.

**BE IT FURTHER RESOLVED** that the Clerk provide a certified copy of this Resolution to the Applicant, Applicant's attorney, Borough Engineer, zoning officer and Borough Planner.

**BOROUGH OF FREEHOLD  
COUNTY OF MONMOUTH  
ORDINANCE #2020/18**

**APPROVING AND ADOPTING THE NOVEMBER 2, 2020 AMENDMENT TO  
THE 2019 CENTER CORE REHABILITATION PLAN IN THE BOROUGH OF  
FREEHOLD,  
COUNTY OF MONMOUTH AND STATE OF NEW JERSEY**

**WHEREAS**, by Resolutions adopted on October 7, 2019 and November 4, 2019, the Governing Body declared that certain properties in the Center Core Area met the statutory criteria for designation as an "Area in Need of Rehabilitation" as defined in the Local Redevelopment and Housing Law and directed Pennoni, *Group Melvin Division* to prepare a new rehabilitation plan; and

**WHEREAS**, the governing body engaged the services Pennoni, *Group Melvin Division* to prepare a new rehabilitation plan for the Center Core Area; and

**WHEREAS**, Pennoni prepared the 2019 Center Core Rehabilitation Plan; and

**WHEREAS**, the Plan was adopted by the governing body on December 16, 2019; and

**WHEREAS**, since its adoption, the governing body has become aware of several areas that needed review and possible revision; and

**WHEREAS**, by Resolution No. 155-20 approved on November 16, 2020, the governing body recommended certain revisions to the 2019 Core Rehabilitation Plan; and

**WHEREAS**, the Borough Planner, Pennoni, *Group Melvin Division*, prepared the recommended amendments, and codified same in the Document entitled "November 2, 2020 Amendment to Document 2019 Core Center Core Rehabilitation Plan"; and

**WHEREAS,** the governing body has reviewed same and agrees with the amendments.

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and council of the Borough of Freehold that:

### **Section I**

It is hereby found and determined that the aforementioned Amendment to the 2019 Center Core Rehabilitation Plan gives due consideration to providing appropriate allowable and achievable uses of the area for neighborhood improvement, with special consideration for the health, safety and welfare of the residents of the area and of the Borough of Freehold and taking into consideration the complexion of the Freehold Center Core and its mix of commercial activity and community interaction.

### **Section II**

It is hereby found and determined that the aforementioned Amendment to the 2019 Center Core Rehabilitation Plan will afford maximum practical opportunity consistent with the sound needs of the locality as a whole, for the redevelopment of the area.

### **Section III**

The "November 2, 2020 Amendment to Document 2019 Core Center Core Rehabilitation Plan" is in conformity with the Local Redevelopment and Housing Law of New Jersey (N.J.S.A.



40A:12A-1 et. seq.), which allows a municipality to designate an "Area in Need of Rehabilitation" and create a Redevelopment Plan to govern the Rehabilitation Area which plan may include area, bulk, design, or other development standards meant to revitalize the area in a way consistent with the municipal goals and objectives identified in the Master Plan.

#### **Section IV**

The "November 2, 2020 Amendment to Document 2019 Core Center Core Rehabilitation Plan" expands the permitted uses of the existing zone and incorporates smart growth principals to make the property more attractive to private and private/public investment

#### **Section V**

The Redevelopment Plan for the area entitled "2019 Center Core Rehabilitation Plan" prepared by Pennoni, *Group Melvin Division*, dated December 16, 2019, having been duly reviewed and considered, is hereby approved and adopted, and the Borough Clerk is hereby directed to file a copy of the "November 2, 2020 Amendment to Document 2019 Core Center Core Rehabilitation Plan" with the Meeting Minutes and to keep a copy on file in the Office of the Borough Clerk.

#### **Section VI**

If any part of this Ordinance shall be deemed invalid such part shall be deemed severable and the invalidity thereof shall not effect the remaining part of this Ordinance.

#### **Section VII**

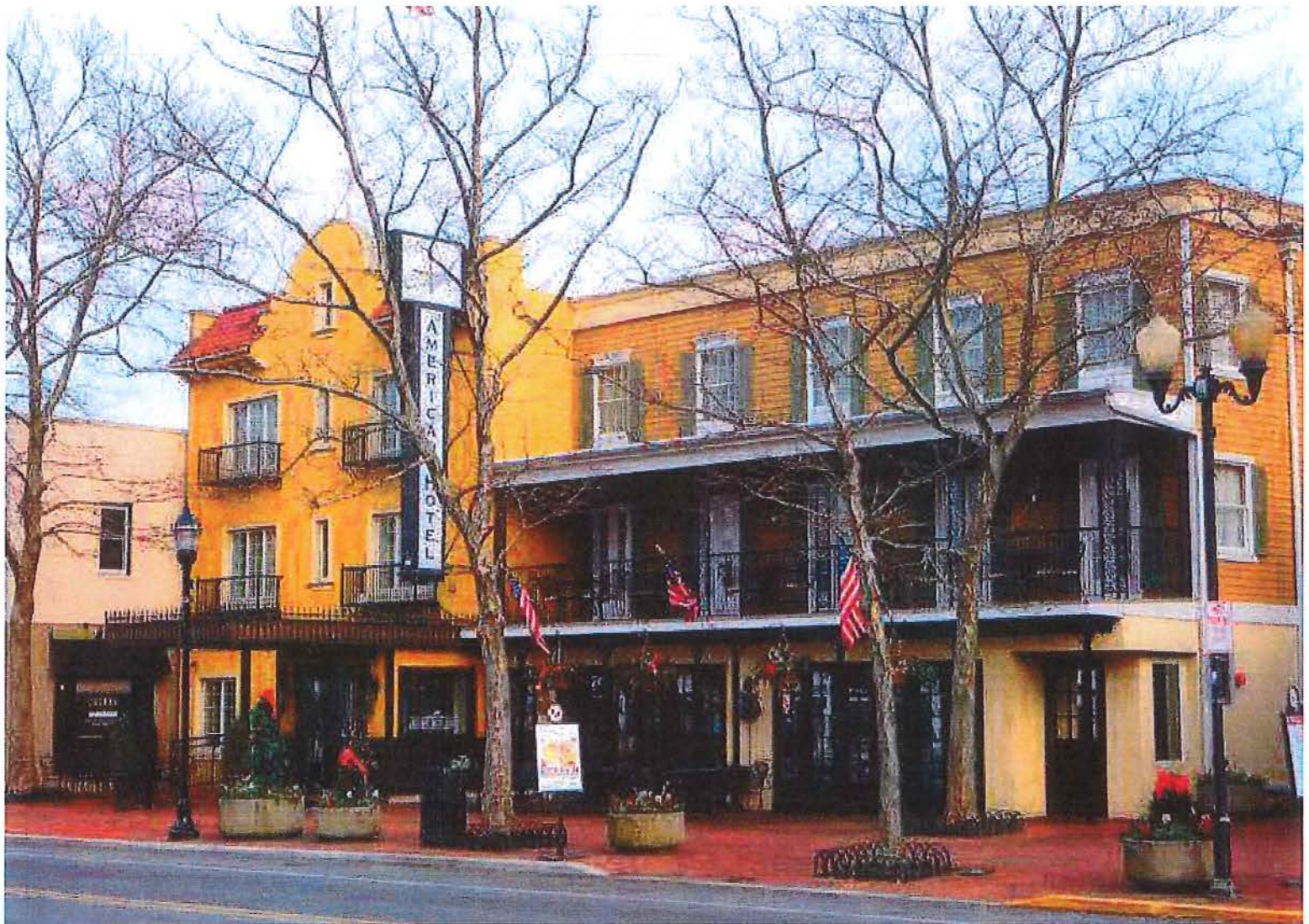
Any Ordinance or portions thereof which are inconsistent with the provisions of this Ordinance are hereby repealed and superseded.

#### **Section VII**

This Ordinance shall take effect upon final passage and publication in accordance with Law.



# 2019 CENTER CORE REHABILITATION PLAN



**NOVEMBER 2, 2020 AMENDMENT TO DOCUMENT  
ADOPTED ON:  
DECEMBER 16, 2019**



## ACKNOWLEDGMENTS

Thank you to the following Borough staff and elected officials who worked to make this plan a reality:

### Mayor

Kevin A. Kane

### Borough Council

Sharon Shutzer  
Michael DiBenedetto  
George Schnurr  
Annette Jordan  
Margaret Rogers  
Adam Reich

### Administrator's Office

Stephen J. Gallo, Business Administrator

### Legal Counsel

Kerry E. Higgins, Borough Attorney  
Ronald D. Cucchiaro, Planning Board Attorney

### Planning Board

William Barricelli, Cl. IV, Chair  
Michael Wildermuth, Cl. IV, Vice Chair  
Garry Jackson, Cl. II  
Paul Ceppi, Cl. IV  
Michael McCabe, Cl. IV  
Shealyn M. S. Crombie, Cl. IV  
Caridad Argot-Freyre, Cl. IV  
Brienne Kozłowski, Cl. IV, Alt. 1

### Planning Board Engineer

William Wentzien, P.E., P.P., C.M.E.  
Abington Engineering, LLC

The Borough would also like to extend a special thank you to the **North Jersey Transportation Authority (NJTPA)**, who provided technical assistance to the Borough through the Program for Emerging Centers. This document is largely the result of that planning process and the hard work of the consultant team hired by NJTPA.

### Consultant Team

Pennoni (Group Melvin Division)  
Fitzgerald & Halliday, Inc.  
Phillips Preiss Grygiel LLC

Prepared by:



Figure 1: Downtown Freehold Boundary with Block and Lot Numbers

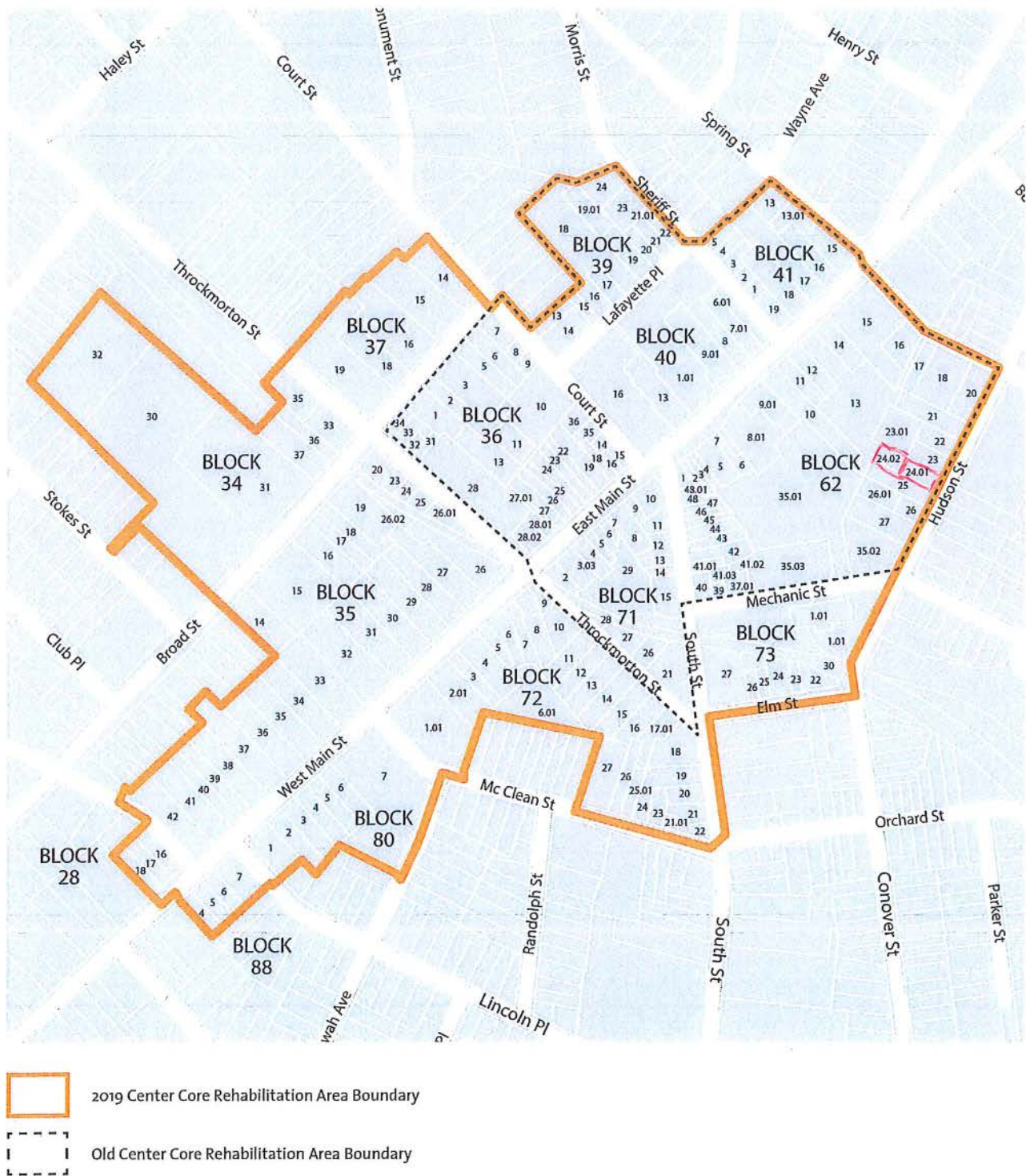
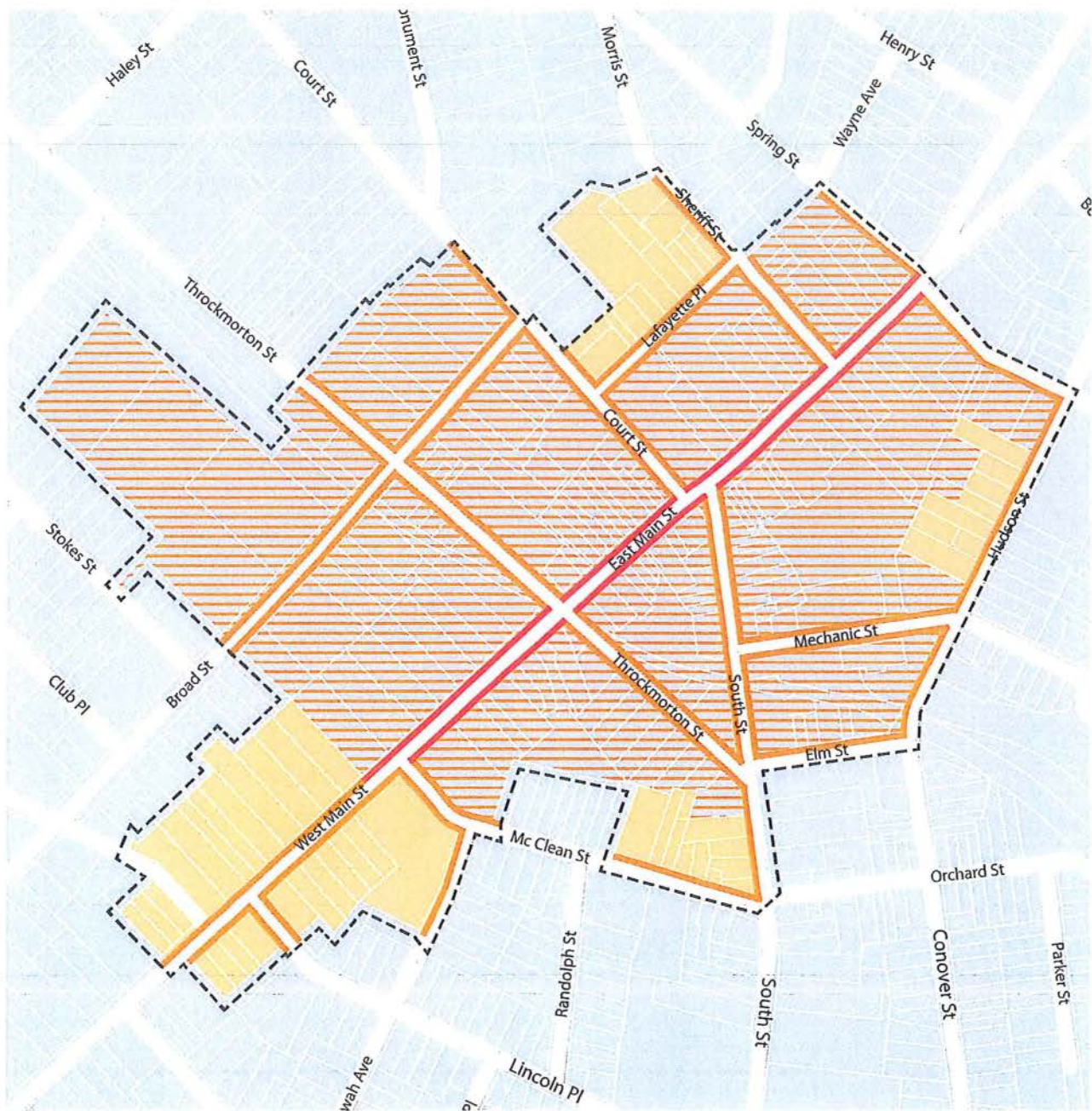




Figure 2: Frontage Types



- Primary Frontage
- Secondary Frontage
- ▨ Downtown Zone
- Neighborhood Zone
- - - Downtown Freehold Rehabilitation Area

## LAND USES » PERMITTED ACCESSORY USES

1. Permitted and Conditional Uses		Zone	
		Downtown	Neighborhood
Public and Semi-public uses			
O	Government / Institutional / Civic uses	P	P
P	Public and semi-public open spaces	P	P
Q	Schools	NP	P
R	Houses of worship	NP	P
S	Parking garages	P	NP
P = Permitted   NP = Not Permitted   C = Permitted with Conditions			

- Preexisting auto-related uses are permitted in the downtown zone on secondary frontages only. Such uses may be renovated, provided the existing use is not expanded more than 150% of the (footprint or FAR).

### 3.d. PERMITTED ACCESSORY USES

1. Accessory Uses		Zone	
		Downtown	Neighborhood
A	Off-street parking facilities	P	P
B	Trash enclosures	P	P
C	Mailboxes, Drop-boxes	P	P
D	Sidewalk cafés	P	NP
E	Fitness centers, commercial	P	P
P = Permitted   NP = Not Permitted   C = Permitted with Conditions			

- Home occupations are permitted in all districts within a permitted principal buildings, above private garages, or in freestanding garage or storage structures. There is a limit of one home office per principal dwelling units.

### 3.b. PROHIBITED USES

- All uses not explicitly permitted are prohibited, including, but not limited to:
  - Check Cashing businesses
  - Massage Parlors
  - Kennels
  - Uses requiring storage or display of goods outside a fully enclosed building
  - Lumber yards
  - Sexually oriented businesses



## **ATTACHMENT III**

**BOROUGH OF FREEHOLD  
51 WEST MAIN STREET  
FREEHOLD, NEW JERSEY 07728**

**LAND USE DEPARTMENT APPLICATION CHECKLIST**

Applicant's Name: Broadway Family Health Care \_\_\_\_\_

Trade Name: 13 Broadway Realty LLC \_\_\_\_\_

Applicant's Address: 33 Ferry Street, South River, NJ 08882

Block: 42 Lot: 10 Zone: B-1 \_\_\_\_\_

Name of Project: Broadway Family Health Care \_\_\_\_\_

The following must be submitted in order for your application to be deemed complete.

ITEMS TO BE SUBMITTED	PLANS COMPLY	N/A	WAIVER REQUESTED	PLANS COMPLY	N/A	WAIVER REQUESTED
1. Application for Zoning Certificate or Building Permit Denial from Zoning Officer	X			✓		
2. Application for Planning Board	X			✓		
3. Site Plan Application	X			✓		
4. Site Plan (only folded plans will be accepted). *	X			✓		
5. Site Plan Detail Checklist - Completed	X			✓		
6. Fee Schedule with W-9 (Escrow & application fees must be in separate checks).	X			✓		
7. Tax Certification	X			✓		
8. Photograph of Existing Conditions	X			✓		
9. Affidavit of Service		WILL SUBMIT				AT MEETING
10. Exhibit List	X			✓		
11. List of Professionals To Testify	X			✓		
12. Signed Checklist	X			✓		

Eighteen (18) complete packages of the above information must be delivered to the Land Use Office to be considered complete. Please provide six (6) copies 24 x 36", and twelve (12) copies 11 x 17".

09-14-2020 9-14-20  
Date

[Signature]  
Applicant or Agent

To Be Completed by Borough:

Date: 9-28-2020

Checked By: William T. Wentz

0B-UV-2020-005

**BOROUGH OF FREEHOLD  
51 WEST MAIN STREET  
FREEHOLD, NEW JERSEY 07728**

**LAND USE DEPARTMENT APPLICATION CHECKLIST**

Applicant's Name: Broadway Family Health Care \_\_\_\_\_

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ITEMS TO BE SUBMITTED	PLANS COMPLY	N/A	WAIVER REQUESTED	PLANS COMPLY	N/A	WAIVER REQUESTED
1. Application for Zoning Certificate or Building Permit Denial from Zoning Officer	X					
2. Application for Planning Board	X					
3. Site Plan Application	X					
4. Site Plan (only folded plans will be accepted). *	X					
5. Site Plan Detail Checklist - Completed	X					
6. Fee Schedule with W-9 (Escrow & application fees must be in separate checks).	X					
7. Tax Certification	X					
8. Photograph of Existing Conditions	X					
9. Affidavit of Service						
10. Exhibit List		WILL SUBMIT				
11. List of Professionals To Testify		X				
12. Signed Checklist		X				

Eighteen (18) complete packages of the above information must be delivered to the Land Use Office to be considered complete. Please provide six (6) copies 24 x 36", and twelve (12) copies 11 x 17".

09-14-2020 9-14-20  
Date

  
Applicant or Agent

To Be Completed by Borough:

Date: \_\_\_\_\_

Checked By: \_\_\_\_\_

BOROUGH OF FREEHOLD  
51 WEST MAIN STREET  
FREEHOLD, NEW JERSEY 07728

LAND USE DEPARTMENT  
PLANNING BOARD APPLICATION FORM

Please note: This application, with supporting documentation, must be filed with the Administrative Officer of the Land Use Department for review at least thirty (30) days prior to the meeting at which the application is to be considered.

To Be Completed By Borough Staff Only.

Date Filed: 9-18-2020 Application No. PB-11V-2020-005  
Planning Board: \_\_\_\_\_ Application Fee: 850.00  
Scheduled for Completeness: \_\_\_\_\_  
Scheduled for Hearing: \_\_\_\_\_

1. SUBJECT PROPERTY (ATTACH PHOTO):

Location: 13 Broadway, Freehold  
Tax Map: Page \_\_\_\_\_ Block 42 Lot 10  
Dimensions: Frontage 81 Depth 200 Total Area 16,200 sq. ft.

2. APPLICANT:

Name: Broadway Family Health Care  
Corporate Name: 13 Broadway Realty LLC  
Address: 33 Ferry St. South River, N.J. 08882  
Telephone 732-858-5882

Applicant is a Limited Liability Company

Note: If the applicant is a corporation or limited liability company, the applicant must be represented by an attorney.



**3. DISCLOSURE STATEMENT:**

Pursuant to N.J.S. 40:55D-48.1, the names and addresses of all persons owning 10% of the stock in a corporate applicant or 10% interest in any partnership applicant must be disclosed. In accordance with N.J.S.40A:55D-48.2, that disclosure requirement applies to any corporation or partnership which owns more than 10% interest in the applicant followed up the chain of ownership until the names and addresses of the non-corporate stockholders and partners exceeding 10% ownership criterion have been disclosed.

NAME		ADDRESS			INTEREST		
Mark	Vaysberg	33	Ferry	St.	South	River,	NJ
08882							

**4. If the Owner(s) is other than the applicant, provide the following information on the Owner(s):**

Owner's Name: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone No.: \_\_\_\_\_

If the owner of any portion of the subject premises is other than the applicant, you must have the owner consent to the application by signing Paragraph 27 below.

**5. PROPERTY INFORMATION:**

Restrictions, covenants, easements, Association by-laws, existing or proposed on the property:

Yes (Attach copies)      No X      Proposed N/A

Note: All deed restrictions, covenants, easements, Association by-laws, existing and proposed must be submitted for review and must be written in easily understandable English in order to be approved.

Present use of property: vacant




6. Applicant's Attorney: Vincent E. Halleran Jr., Esq.  
Address: 56 West Main Street  
Freehold, NJ 07728

Telephone No.: 732-462-0800 Fax No.: 732-431-3561 email-vhalleran@hotmail.com

7. Applicant's Engineer: Robert Sive

Address: 958 Adelphia Rd. P.O. Box 249 Adelphia, N.J. 07710

Telephone No. 732-625-7919 Fax No.:

8. Applicant's Planner: Robert Sive

Address: 958 Adelphia Rd. P.O. Box 249 Adelphia, N.J. 07710

Telephone No.: 732-625-7919 Fax No.:

9. Applicant's Traffic Engineer:

Address:

Telephone No. Fax No.

10. List any other expert who will submit a report or who will testify for the Applicant. Attach additional sheets as may be necessary:

Name: Greg Clark

Field of Expertise: Architect

Address: 10 Zellers Road, Long Valley, NJ 07853

Telephone No.: 732-462-9522 Fax No.: 732-939-2116

11. Applicant represents a request for the following:

**SUBDIVISION:** N/A

Minor Subdivision Approval: Do you have knowledge of any previous subdivision applications affecting any portion of the subject premises?

Yes No

Total area of Tract:

Area of each proposed lot:

Subdivision Approval (Preliminary):

Total area of tract:

Total Area of Tract which is being subdivided: \_\_\_\_\_

Are there any current or contemplated easements or restrictions that affect or will affect any portion of the premises? If so, describe and attach copies of same.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Subdivision Approval (Final):

Date of Preliminary Approval: \_\_\_\_\_

Number of Lots Proposed for Final Approval: \_\_\_\_\_

Does the final plat conform exactly to the preliminary plat in all details and areas covered? Yes: \_\_\_\_\_ No: \_\_\_\_\_ If not, indicate material changes or incongruities. If necessary, attach additional pages.

\_\_\_\_\_  
\_\_\_\_\_

List all maps and other materials accompanying this application:

\_\_\_\_\_

**SITE PLAN:**

\_\_\_\_\_  
Preliminary Site Plan Approval (Phases, if applicable \_\_\_\_\_)

  X    
Final Site Plan Approval (Phases, if applicable \_\_\_\_\_).

\_\_\_\_\_  
Amendment or Revision to an Approved Site Plan:

Area to be disturbed: \_\_\_\_\_

Total number of dwelling units:        0

\_\_\_\_\_  
Request for waiver from Site Plan Review and Approval. Reason for request:

\_\_\_\_\_  
\_\_\_\_\_

23

\_\_\_\_ Informal Review (Planning Board only).  
\_\_\_\_ Appeal Decision of an Administrative officer,  
\_\_\_\_ (N.J.S.40:55D-70a.)  
\_\_\_\_ Map or Ordinance Interpretation of Special Question,  
\_\_\_\_ (N.J.S.40:55D-70b).  
\_\_\_\_ Variance Relief - Hardship (N.J.S.40:55D-70c(1)).  
\_\_\_\_ Variance Relief - Substantial Benefit (N.J.S.40:55D-  
70c (2)).  
X Variance Relief - Use (N.J.S.40:55D-70D).  
\_\_\_\_ Conditional Use Approval (N.J.S.40:55D-67).  
\_\_\_\_ Direct issuance of a permit for a structure in bed  
of a mapped area, public drainage way or flood  
control basin (N.J.S.40:55D-34).

NOTE: Appeals of decisions of Administrative Officers, use  
variances, and the direct issuance of permits are  
all matters to be heard by the Zoning Board of  
Adjustments only.

12. Section(s) of Ordinance from which a variance is requested:

B- 1 Zone Variance requested from 18-36-010 and 18-36-020  
Health Care Facility not an approved use.\_

13. Waivers Requested of Development Standards and/or Submission  
Requirements (attach additional pages as needed):

14. Attach a copy of the Notice to appear in the Asbury Park  
Press, the Borough's official newspaper, and to be mailed to the  
owners of all real property, as shown on the current tax duplicate,  
located within the State and within 200 ft. in all directions of  
the property which is the subject of this application. The Notice  
must specify the sections of the Ordinance from which relief is  
sought, if applicable. The publication and service on the affected  
owners must be accomplished at least ten (10) days prior to the  
date scheduled by the Administrative Officer for the hearing. An  
affidavit of service on all property owners and an affidavit of



publication must be filed before the application will be complete and the hearing can proceed.

15. Explain in detail the exact nature of the application and the changes to be made at the premises, including the proposed use of the premises. (Attach pages as needed):

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16. Is a public water line available? ☒ Yes

17. Is a public sanitary sewer available? ☒ Yes

18. Does the application propose a well? ☒ No

Does the application propose a septic system? ☒ No

19. Have any proposed new lots been reviewed with the Tax Assessor to determine appropriate lot and block numbers? ☒ N/A

20. Are any off-tract improvements required or proposed? ☒ No

21. Is the subdivision to be filed by deed or plat? ☒ N/A

22. What form of security does the applicant propose to provide as performance and maintenance guarantees?

☐ Any Escrow required

23. Other approvals which may be required & date plans submitted:

<u>AGENCY</u>	<u>YES</u>	<u>NO</u>	<u>DATE</u> <u>PLANS SUBMITTED</u>
Manasquan Regional Sewer Authority		x	
Monmouth County Health Dept.		x	
Monmouth County Planning Bd.		x	
Freehold Soil Conservation District		x	
NJ Dept. of Environmental Protection		x	
Sewer Extension Permit		x	
Sanitary Sewer Connection Permit		x	
Stream Encroachment Permit		x	
Wetlands Permit		x	
Potable Water Construction Permit		x	
Other (Please note.)		x	

24. Certification from the Tax Collector that all taxes due on the subject property have been paid.

25. List of Maps, Reports, and other materials accompanying the application. (Attach additional pages as required for complete listing).

QUANTITY

DESCRIPTION OF ITEM

10

Variance/ minor site plan

by Robert Sive

10

Architectural plan by Greg Clark

26. I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual applicant, or I am an officer of the corporate applicant, and that I am authorized to sign the application for the corporation, or that I am a general partner of the partnership applicant.

Please note: If the applicant is a corporation, an authorized corporate officer must sign this section. If applicant is a partnership, a general partner must sign this section.

Sworn and subscribed before me  
this 14th day of September, 2020

NOTARY PUBLIC

SIGNATURE OF APPLICANT

27. I certify that I am the owner of the property which is the subject of this application, and that I have authorized the applicant to make this application, and that I agree to be bound by the application, the representation made, and the decision in the same matter as if I were the applicant.

Please note: If the applicant is a corporation, an authorized corporate officer must sign this section. If applicant is a partnership, a general partner must sign this section.

Sworn and subscribed before me  
this 14th day of September, 2020.

NOTARY PUBLIC

SIGNATURE OF OWNER

VINCENT E. HALLERAN, JR.  
AN ATTORNEY AT LAW  
STATE OF NEW JERSEY

20. I understand that the sum of 4,500. has been deposited in an escrow account (Builder's Trust Account). In accordance with the Ordinances of the Borough of Freehold, I further understand that the escrow account is established to cover the cost of professional services, including engineering, planning, legal and other expenses associated with the review of submitted materials and the publication of the decision by the Board. Sums not utilized in the review process shall be returned. If additional sums are deemed necessary, I understand that I will be notified of the required additional amount and shall add that sum to the escrow account within ten (10) days.

9-14-2020

DATE

*V. V. V.*

SIGNATURE OF APPLICANT



BOROUGH OF FREEHOLD  
51 WEST MAIN ST.  
FREEHOLD, N.J. 07728

LAND USE DEPARTMENT SITE PLAN APPLICATION

\_\_\_\_\_ MAJOR

\_\_\_\_\_ REQUEST FOR WAIVER

Applicant's Name: Broadway Family Health Care

Trade Name: 13 Broadway Realty LLC

Applicant's Address: 33 Ferry Street, South River, NJ 0882

Block: 42 Lot: 10

Name of Project: Broadway Family Health Care

Street Address: 13 Broadway, Freehold, NJ

1. Proposed Use of Area: Health Care Facility
2. Area of Entire Tract: 16,200 sq. feet
3. Dimensions of Existing Structures on Lot:

\_\_\_\_\_  
\_\_\_\_\_

4. Parking Stalls: Number existing 8 Number proposed 8

5. Total number of employees: 4 - 2 shifts - 2 per shift

6. Number of Dwelling Units if applicable: N/A

7. Number of Seating Facilities: 12 - 10 residents, 2 service

8. Reason for Waiver if applicable: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Date: 9-14-2020 Applicant or Agent: \_\_\_\_\_



VINCENT E. HALLERAN, JR.  
AN ATTORNEY AT LAW  
STATE OF NEW JERSEY

BOROUGH OF FREEHOLD  
51 WEST MAIN ST.  
FREEHOLD, N.J. 07728

LAND USE DEPARTMENT TAX CERTIFICATION

Applicant's Name: Broadway Family Health Care

Trade Name: 13 Broadway Realty LLC

Applicant's Address: 33 Ferry Street, South River, NJ 08882

Owner's Name: 13 Broadway Realty LLC

Address: 33 Ferry Street, South River, N.J. 08882cp

Block: 42 Lot: 10

Physical Address: 13 Broadway

The taxes & assessments due not including interest for the above block and lot are:

<u>QUARTER</u>	FOR YEAR _____	FOR YEAR _____
1.	_____	_____
2.	_____	_____
3.	_____	_____
4.	_____	_____

Other Municipal charges as follows: \$ \_\_\_\_\_

The Water & Sewer charges not including interest for the above block and lot are:

<u>QUARTER</u>	FOR YEAR _____	FOR YEAR _____
1.	_____	_____
2.	_____	_____
3.	_____	_____
4.	_____	_____

The total amounts due as of this date for the above referenced property are as follows:

TAXES:	\$ _____
OTHER ASSESSMENTS:	_____
WATER & SEWER:	_____
TOTAL:	\$ _____

Date: \_\_\_\_\_ Tax Collector: \_\_\_\_\_

BOROUGH OF FREEHOLD  
51 WEST MAIN ST.  
FREEHOLD N.J. 07728

LAND USE DEPARTMENT EXHIBIT LISTING

PROJECT NAME: BROADWAY FAMILY HEALTH CARE

APPLICATION NUMBER: \_\_\_\_\_

DATE OF HEARING: \_\_\_\_\_

APPLICANT'S EXHIBITS

EXHIBIT NO.	DESCRIPTION OF EXHIBIT
A-1	PHOTOGRAPH
A-2	SITE PLAN
A-3	ARCHITECTURAL PLANS
A-4	
A-5	
A-6	
A-7	
A-8	
A-9	
A-10	
A-11	
A-12	
A-13	
A-14	

BOARD EXHIBITS

(To be completed by the Borough)

EXHIBIT NO.	DESCRIPTION OF EXHIBIT
B-1	
b-2	
B-3	
B-4	
B-5	
B-6	
B-7	
B-8	



**BOROUGH OF FREEHOLD  
51 WEST MAIN STREET  
FREEHOLD NEW JERSEY 07728**

**LAND USE DEPARTMENT APPLICATION WITNESS LIST**

PROJECT NAME: BROADWAY FAMILY HEALTH CARE

APPLICATION NUMBER: \_\_\_\_\_

DATE OF HEARING: \_\_\_\_\_

1. Name: VINCENT E. HALLERAN, JR. ESQ. \_\_\_\_\_

Field of Expertise: Attorney At Law

Address: 56 W Main Street, Freehold NJ 07728

Telephone No: 732-462-0800 Fax No: 732-431-3561  
Email: vhalleran@hotmail.com

2. Name: Robert Sive

Field of Expertise: Professional Engineer

Address: 958 Adelphia Rd, PO Box 249 Adelphia, NJ 07710

Telephone No.: 732-625-7919 Fax No.: \_\_\_\_\_

3. Name: Robert Sive

Field of Expertise: Planner

Address: 958 Adelphia Rd, PO Box 249 Adelphia, NJ 07710

Telephone No.: 732-625-7919 Fax No.: \_\_\_\_\_

4. Name: Greg Clark

Field of Expertise: Architect

Address: 10 Zellers Road, Long Valley, NJ 07853

Telephone No.: 732-462-9522 Fax No: 732-939-2116

SITE PLAN CHECKLIST - PRELIMINARY APPROVAL

NAME OF APPLICANT: 13 Broadway Realty, LLC  
 BLOCK: 42 LOT: 10  
 TRADING AS: 13 Broadway Realty, LLC  
 SITE ADDRESS: 13 Broadway, Fraebold

**INSTRUCTIONS:** The applicant is to check off each item with which he has complied. If he believes the item is not applicable, then he should enter "N.A." For those items not complied with, there must be a letter seeking a waiver and the reasons for granting the waiver.

	Information Provided	Staff Review
1. Name, address, and title of person preparing site plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of applicant.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Name and address of owner of the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. The municipal tax map lot and block numbers of the lot(s) shown on the site plan and the tax sheet number or numbers.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Key Map.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. A date, scale and north arrow on each sheet of the site plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. The zoning district or districts in which the lot or lots are located.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. If the site plan includes more than one sheet, each sheet shall be numbered and titled.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. The location of all existing watercourses, wood areas, easements, right-of-ways, streets, roads, highways, freeways, railroads, canals, rivers, buildings, structures, or any other feature if such feature has an effect upon the said property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. The location of all existing and proposed landscaped areas and all existing trees over six inch caliper.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. The location, use, finished grade level and ground area of each existing and proposed building, structure, or any other land use, including all setback dimensions.	<input type="checkbox"/>	<input type="checkbox"/>
12. The location, names and widths of all existing and proposed streets (including cross sections and profiles) abutting the lot or lots in question and within 200 ft. of said lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
* Waiver requested from providing cross section and profile of existing street		

BLOCK 42 LOT 10

	Information Provided	Staff Review
13. The location, type and size of all existing and proposed curbs, sidewalks, driveways, fences, retaining walls, parking space areas and the layout thereof and all off-street loading areas, together with the dimensions of all the foregoing.	✓	—
14. The capacity of proposed off-street parking areas and location of all off-street parking spaces (including handicapped spaces).	✓	—
15. The location and size of proposed loading berths.	N/A	—
16. The location and treatment of existing and proposed entrances and exits to public rights-of ways, including the possible utilization of traffic signals, channelization, acceleration/ deceleration lanes, additional width and any other device necessary to traffic safety and/or convenience.	✓	—
17. The location, size and nature of all existing and proposed rights-of-ways, easement and other encumbrances which may affect the lot or lots in question, and the location, size, and description of any lands to be dedicated to the municipality or the County of Monmouth.	✓	—
18. Description of interior traffic circulation.	✓	—
19. The location, type, and size of all exterior lighting of parking, loading and driveway areas.	✓	—
20. The location and identification of proposed open spaces, parks, or other recreation areas.	N/A	—
21. The location and design of buffer areas and screening devices to be maintained.	✓	—
22. Existing topography based upon New Jersey Geodetic Control Survey datum and proposed grading both with a maximum of two foot contour levels.	✓	—
23. The location type and size of all existing and proposed catch basins, storm drainage facilities and utilities, plus all required design data supporting the adequacy of the existing or proposed facility to handle future storm flows (design calculations for a 25 year storm).	N/A	—
24. The location of all existing and proposed signs (If sign is non-conforming, please note herein if request is being made for a Design Waiver as part of this application); standards, utility poles and their size, type of construction, and location of water supply and sewage disposal systems.	✓	—



BLOCK 42 LOT 10

Information  
Provided Staff  
Review

- |   |                                     |                          |
|---|-------------------------------------|--------------------------|
| 25. The location of all existing property lines adjoining the tract and all lines within 200 ft. of the boundary lines of the major tract and the name of the owner of each property.   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 26. The location, size and nature of the entire lot in question, and any contiguous lots owned by the applicant, or in which the applicant has a direct or indirect interest, even though only a portion of the entire property is involved in the site plan for which approval is sought.  | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 27. Complete construction specifications to include description, materials and method of construction for all required improvements shall be submitted with all site plan applications. A schedule of events and time sequence shall also be submitted for all required improvements. A preconstruction conference shall be required prior to the construction of any required improvements between the owner, contractor and engineer, and shall be a condition of any approval. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 28. Preliminary architectural plans for any proposed buildings or structures indicating typical floor plans, elevations, height and general design or architectural styling. Such plans shall include the name, address, and title of the person preparing the plans.   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 29. Any other information required by the Planning Board or the Monmouth County Planning Board which is reasonably necessary to ascertain compliance with the provisions of this chapter or other Federal, State, County or Municipal laws, rules or regulations.   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 30. Site Plan Scale not smaller than 1" = 50', and not larger than 1" = 10'   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 31. Submission has been made to the County Planning Board, and their comments/approval are attached to the site plan.   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 32. The location of and disposal process for all refuse and recyclable materials.   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 33. Compliance with Handicap Regulations.   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 34. Signature block for Chairperson, Secretary, and Borough Engineer and signature block for County Planning Board if applicable.   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| PLEASE NOTE: Underneath the title of engineer, there should be listed "William T. Wentzien, P.E., New Jersey License No. 27799".  | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 35. If determined to be a "major" site plan, the names of owners of record of adjacent property within 200 ft.  | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

PREPARED BY: Albert Neri DATE: 9/14/2020  
OWNER/AGENTS APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_  
REVIEWED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
NAME OF APPLICANT: 13 Broadway Realty, LLC  
BLOCK 42 LOT 10  
ADDRESS: 13 Broadway, Freehold

INSTRUCTIONS: The applicant is to estimate his required fees by filling in the first column. Two (2) checks should be provided with the application: one for application fees (Schedule A), and a second for escrow fees (Schedule B). Schedule A fees are non-refundable. Schedule B fees are used to offset the costs of professional reviews and inspections as permitted by law, and any remaining balance will be refunded to the Applicant upon completion of the project, or the withdrawal/denial of the project.

For major subdivisions and site plans, the final application and approval fee can be paid after preliminary approval, if desired. Inspection fees must be paid prior to the start of construction.

SCHEDULE A: NON-REFUNDABLE FEES

BLOCK 42 LOT 10

	<u>Fee</u>	<u>Applicant Estimate</u>	<u>Staff Review</u>
a. Publication of Notice of Any Decision	\$ 50.00	\$50	_____
b. List of Property Owners Within 200 ft. \$0.25 per name, or \$10.00, whichever is greater.			
c. Minor Subdivision Approval:			
1. Each Informal Review	\$ 100.00	_____	_____
2. Application Fee	\$ 100.00	_____	_____
3. Plat Review Fee	\$ 200.00	_____	_____
d. Major Subdivision Approval:			
1. Each informal Review	\$ 100.00	_____	_____
2. Preliminary Application Fee	\$ 100.00 + \$200.00 per lot	_____	_____
3. Final Plat Application Fee	\$ 100.00 + \$100.00 per lot	_____	_____
e. Minor Site Plan Approval: (Less than 2,000 sq. ft. of building area, and five or fewer parking spaces):			
1. Each Informal Review	No Fee	_____	_____
2. Application Fee	\$ 100.00	_____	_____
3. Preliminary Review Fee	\$ 200.00	_____	_____
4. Final Review Fee	\$ 200.00	\$200	_____
f. Waiver of Site Plan Detail Request	\$ 250.00	_____	_____
g. Major Site Plan Approval: (2,000 or more sq. ft. of building area and/or more than five parking spaces):			
1. Each Informal Review	\$ 100.00	_____	_____
2. Preliminary Application Fee	\$ 100.00	_____	_____
3. Preliminary Approval Review Fees:			



		BLOCK	LOT
a.	Residential - The sum of:		
	I. For each new dwelling unit	\$ 50.00	
	II. For each remodeled, reconstructed, refurbished or rehab dwelling unit	\$ 30.00	
	III. For each new or additional parking space:		
	a. First 100 spaces	\$ 25.00 ea.	
	b. Over 100 spaces	\$ 20.00 ea.	
	b. Other Uses	\$ 200.00 +	
	(The sum of each of the following fees if applicable):		
	I. For each full 1,000 sq.ft. of affected lot area (See (0) below):		
	a. First 50,000 sq.ft.	\$ 10/1,000 sf	
	b. Over 50,000 sq.ft.	\$ 5/1,000 sf	
	II. For each full 1,000 sq. ft. proposed new gross floor area:		
	a. First 50,000 sq. ft.	\$ 50/1,000 sf	
	b. Over 50,000 sq.ft.	\$ 20/1,000 sf	
	III. For each proposed new or additional parking spaces:		
	a. First 100 spaces	\$ 20/sp	
	b. Over 100 spaces	\$ 10/sp	
	IV. For each 1,000 sq.ft. of remodeled existing gross floor area	\$ 10/1,000 sf	
	V. For each reconstructed, resurfaced or improved existing paved parking space	\$ 10/1,000 sf	
	4. Final Application Fee	\$ 200.00	
	5. Final Approval Review Fees - fifty percent (50%) of fees for preliminary approval set forth above.		
h.	Variances:		
	1. Appeals (N.J.S.A.40:550-70a):		
	a. Single family residential uses	\$ 100.00	
	b. Other	\$ 200.00	
	2. Interpretation of the Land Use Ordinance or Map (N.J.S.A.40:55D-70b)	\$ 250.00	
	3. Hardship or Bulk Variance, (N.J.S.A.40:55D-70c):		
	a. Single-family residential uses	\$ 200.00	
	b. Other	\$ 300.00	
	4. Use Variance (N.J.S.A.40:55D-70d)		
	a. Proposed single-family residential use	\$ 250.00	
	b. Other Uses	\$ 500.00	\$500
i.	Conditional Uses:	\$ 500.00	
j.	Public Hearing fee for those development applications requiring Notice of Public Hearing	\$ 100.00	\$100
k.	Change of Master Plan or Zone District Request	\$ 200.00	

BLOCK \_\_\_\_\_ LOT \_\_\_\_\_

<u>Fee</u>	<u>Estimate</u>	<u>Review</u>	<u>Applicant</u>	<u>Staff</u>
1. Environmental Impact Statement (EIS):				
1. Required E.I.S.	\$ 500.00		_____	_____
2. For request of waiver of E.I.S.	\$ 200.00		_____	_____
m. Revised Plats: Any proposed revisions to a plat, including all supporting maps and documents previously approved by the Reviewing Board which approval is still in effect, shall require submission of revised plat and payment of fees in accordance with the following and with sufficient copies of the revised plans:				
1. Additional information or changes requested by the Reviewing Board or Borough Engineer	NO FEE		XX	XX
2. Minor changes which do not involve any additional building or parking or significant change in the design of the site or subdivision	\$ 50.00		_____	_____
2. Changes which involve additional buildings or parking or a significant change in the design of the site or subdivision, an application and application fee equal to one-half the fee required for the initial submission.				
4. A change in use and/or major alteration of the design concepts of the plat shall be considered a new application.				
n. Request for Reapproval or Extensions of Time Where No Change is Required:				
1. Minor Subdivision - Reapproval Only	\$ 200.00		_____	_____
2. Major Subdivision and site plans	\$ 400.00		_____	_____
3. Other applications for development (Soil removal, etc.)	\$ 100.00		_____	_____
o. Site Plan Charges Computation:				
In cases where only a portion of a parcel or site are to be involved in the proposed site plan, the charge shall be based upon an area extending twenty feet (20 ft.) outside the limits of all construction, including grading and landscaping, as well as other areas on the site the Borough Engineer believes are reasonably affected by the development application. The twenty feet (20 ft.) around the disturbed area shall not extend beyond the property lines. The Borough may still require reasonable improvements and upgrading to portions of the site not within the disturbed or affected area.				

		BLOCK _____ LOT _____	
	<u>Fee</u>	<u>Applicant Estimate</u>	<u>Staff Review</u>
p. Zoning Permits:	\$ 50.00	_____	_____
q. Sign Appeals	\$ 100.00	_____	_____
r. Review of Sales Map	\$ 450.00	_____	_____
s. Street Signs	Actual Cost	_____	_____
t. Review by Technical Review Committee prior to Formal Application	\$ 100.00/session	_____	_____
TOTAL APPLICATION FEES:		\$ 850.00_	_____



BLOCK 42 LOT 10

**SCHEDULE B: ESCROW FEES**

	<u>Fee</u>	<u>Escrow To Be Posted</u>	<u>Staff Review</u>
<b>RESIDENTIAL DEVELOPMENT:</b>			
Minor Subdivisions	\$ 1,500.00	_____	_____
Major Subdivisions:			
0 - 5 Units or Lots	2,500.00	_____	_____
6 - 25 Units or Lots	3,000.00	_____	_____
26 or More Units or Lots	7,000.00	_____	_____
<b>SITE PLAN APPLICATION NOT INVOLVING STRUCTURES, ACRES</b>			
0 - 3	5,000.00	_____	_____
3 +	8,000.00	_____	_____
<b>Site Plan Application Not Involving Structures - Total Floor Plan:</b>			
1,250 - 1,999 sq. ft.	2,000.00	\$2,000.00	
2,000 - 20,000 sq.ft.	4,000.00	_____	_____
20,000+ sq. ft.	8,500.00	_____	_____
<b>VARIANCE - USE/BULK</b>	2,500.00	\$ 2,500.00	
Minimum Escrow for those Applications not governed by other Escrow accounts	1,500.00		
Interpretations/Sign Applications	1,500.00		
<b>Any action requiring a Written Resolution by the Reviewing Board:</b>			
Conditional Use	1,500.00		
<b>TOTAL ESCROW FEES:</b>		\$ 4,500.00	_____

**NOTE: SEPARATE CHECKS ARE NEEDED FOR APPLICATION FEE AND ESCROW FEE.**

BOROUGH OF FREEHOLD  
EDDHOI P NEW IERseqo.ms

I HEREBY APPLIES FOR ZONING APPROVAL TO BE ISSUED ON THE BASIS OF THE

REPRESENTATIONS CONTAINED IN THIS APPLICATION. Location of Property, 13 Broadway, ON

1. Q. 1. NAME OF OWNER, B &amp; B Real Estate Investments LLC

2. Address, 13 Broadway, Freehold, NJ 07728

PHONE: 732-586-9612

3. NAME OF APPLICANT, Broadway Family Health Care

4. ADDRESS, 33 ferry St. South River NJ 08662 PHONE, 732-850-5882

5. IS APPLICANT A NOT OWNER, APPLICANT'S INTEREST IN THIS LAND IS: Applicant has signed contract to purchase property from current owner.

6. PROPOSED NAME OF BUSINESS, Broadway Family Health Care

8. DESCRIPTION	WT AREA 81 X 200 SQ. FT. R.F.A.R.	BUILDING AREA 2=6-7, 4= SQ. FT.
EXL-TINO	YARD, SET BACK 80, FT FRONT	LOT FRONTAGE WIDTH 200 FT
CONDITIONS	SETBACK 18 FT	SIDEYARDS 20 FT, 20 FT

(1-HOM BUS.DING), If corner house, to 5 ft; where  
\* front will be fac'd.

9. DESCRIPTION OF ALL PROPOSED USES (DESCRIBE FULLY, INCLUDING ANY SPECIAL PARKING, LOADING, TRAFFIC OR SIMILAR REQUIREMENTS). Our facility will provide three meals per day, dietary services, recreational activities, supervision of self-administration of medications, supervision of and assistance to activities of daily living, and assistance to obtaining health services.

10. EXISTING USES OF PROPERTY OR STRUCTURE IS VACANT. PLEASE INDICATE PRIOR USE: Doctor's Office & architect's office

11. TOTAL FLOOR AREA TO BE OCCUPIED: 1,100

12. TOTAL NUMBER OF PARKING SPACES EXISTING 15 PROPOSED: 15

13. NUMBER OF EMPLOYEES 3 HOURS OF OPERATION 12:00-1:00

14. IS NEW CONSTRUCTION PROPOSED YES OR NO? No. IF YES, PROVIDE DETAILS

15. ARE MODIFICATIONS TO THE SITE OR EXISTING BUILDINGS PROPOSED YES OR NO? Yes. 1Y-ell:s  
IF YES, PROVIDE DETAILS: Update all floors including basement and attic to code An approved drawings and permits will be submitted to township.

16. THE UNDERSIGNED CERTIFY THAT ALL THE STATEMENTS CONTAINED HEREIN ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

DATE: 06/02/20

SIGNATURE OF APPLICANT: a.t. (Mr & Mrs)  
M/202010.01-11AMEOT

ZONING APPROVAL

ON THE BASIS OF THE APPLICATION, THE REPRESENTATIONS IN WHICH ARE A PART HEREOF, THIS PROPOSED USAGE IS FOUND TO BE IN ACCORDANCE WITH THE BOROUGH ZONING ORDINANCE, AND THE APPLICATION FOR ZONING APPROVAL IS HEREBY:

APPROVED: 1 DENIED: X  
FOR THE FOLLOWING REASONS: Residential Health Care facilities are NOT permitted in the B-1 zone. Please apply to the Planning Board for a Use Variance and S.T. plan. The property is located in the Historic Preservation District. Any Extensive Modification will require Historic Preservation Commission Approval.

ZONING FEE: \$15.00

CH: 1022

6/11/20

DATE: 6/16/20 ZONING OFFICER: [Signature]

BOROUGH OF FREEHOLD  
51 WEST MAIN ST.  
FREEHOLD, N.J. 07728

LAND USE DEPARTMENT TAX CERTIFICATION

Applicant's Name: Broadway Family Health Care

Trade Name: 13 Broadway Realty LLC

Applicant's Address: 33 Ferry Street, South River, NJ 08882

Owner's Name: 13 Broadway Realty LLC

Address: 33 Ferry Street, South River, N.J. 08882cp

Block: 42 Lot: 10

Physical Address: 13 Broadway

The taxes & assessments due not including interest for the above block and lot are:

<u>QUARTER</u>	FOR YEAR <u>2020</u>	FOR YEAR _____
1.	<u>0</u>	_____
2.	<u>0</u>	_____
3.	<u>0</u>	_____
4.	_____	_____

Other Municipal charges as follows: \$ \_\_\_\_\_

The Water & Sewer charges not including interest for the above block and lot are:

<u>QUARTER</u>	FOR YEAR <u>2020</u>	FOR YEAR _____
1.	<u>0</u>	_____
2.	<u>0</u>	_____
3.	<u>0</u>	_____
4.	_____	_____

The total amounts due as of this date for the above referenced property are as follows:

TAXES:	\$ <u>0</u>
OTHER ASSESSMENTS:	<u>0</u>
WATER & SEWER:	<u>0</u>
TOTAL:	\$ <u>0</u>

Date: 9/21/20

Tax Collector: Patricia Borg





1315.002.081  
September 28, 2020

Dominica Napolitano, Secretary  
Borough of Freehold Planning Board  
51 West Main Street  
Freehold, NJ 07728

**RE: COMPLETENESS REVIEW  
BROADWAY FAMILY HEALTH CENTER – 13 BROADWAY  
USE VARIANCE AND SITE PLAN  
BLOCK 42, LOT 10  
BOROUGH OF FREEHOLD, MONMOUTH COUNTY, NEW JERSEY**

Dear Ms. Napolitano:

Please be advised that I am in receipt of an application and supporting materials information for the above entitled matter, including the following:

1. Land Use Application Checklist, dated September 14, 2020.
2. Planning Board Application Form, filed September 18, 2020.
3. Zoning Denial, dated June 16, 2020.
4. Site Plan Application, dated September 14, 2020.
5. Site Plan Checklist, dated September 14, 2020.
6. Plan entitled 'Variance/Minor Site Plan, Tax Lot 10, Block 42, 13 Broadway, Freehold Borough, Monmouth County, New Jersey', prepared by Geller Sive & Company, consisting of one (1) sheet, dated September 11, 2020.
7. Architectural plans entitled 'Office Plan Alterations, Real Estate Investments, Inc., 13 Broadway, Freehold, NJ 07728', prepared by Bach & Clark, LLC, consisting of four (4) sheets. Sheets EX1 & EX2 are dated July 16, 2020. Sheets A-1 & A-2 are dated July 20, 2020.
8. 3 photo images of existing site, black and white, print date of September 15, 2020.

The subject of this application is certain lands known as Block 42, Lot 10, located at 13 Broadway. The site is located in the **B-1 Office Commercial Zone**, and the **Freehold Center Historic District Area** of the Borough. The total area of the subject property is 15,954 square feet.

Existing

The site presently contains an existing 2 ½ story frame building, fronting on Broadway. The majority of the rear portion of the lot contains a paved parking area, with the site plan application form indicating existing parking for 8 vehicles. Access to the rear parking area is by way of a paved driveway off Broadway. The rear parking area also directly connects to adjacent Lot 11, to the south.

The Planning Board Application indicates the building is currently vacant. The Zoning Application indicates the prior use as Doctor and Architect's Offices.

The architectural plans indicate the following floor areas for the exiting building:

1. First Floor: 1,221 sf
2. Second Floor: 1,157 sf
3. Basement: 920 sf
4. Attic: 460 sf

Proposed

The documents indicate the following is proposed:

1. Proposed change of use to a Residential Health Care Facility, with 8 Bedrooms.
2. Zoning Application also indicates: 3 meals per day, dietary services, recreational activities, supervision of medications, supervision of and assistance to activities of daily living, and assistance to obtaining health services.
3. The Site Plan Application indicates seating facilities for 12. 10 for residents, and 2 for service personnel.
4. The proposed use will utilize both floors, the basement and the attic.
5. First Floor: 3 Bedrooms, 2 Bathrooms, Dining Room, Living Area, Reception.
6. Second Floor: 5 Bedrooms, 3 Bathrooms.
7. Basement: Kitchen, Pantry, Laundry, Storage, Utility, Mechanical.
8. Attic: Office Area, Staff Area, 1 Bathroom.
9. The Site Plan Application indicates 4 employees in 2 shifts, with 2 employees per shift. The Zoning application indicates 3 employees.
10. Handicapped Access Ramp and Stairs to rear building access.
11. Mill and Repave a portion of the rear parking area.
12. Stripe the rear parking area to delineate a handicapped parking space and vehicle parking spaces.
13. The Site Plan indicates 13 parking spaces will be provided on-site. One of which will be for handicapped parking.

The applicant has requested a **Use Variance and Final Site Plan Approval**.

The documents submitted have been reviewed for the purposes of determining the Administrative Completeness of the application pursuant to N.J.S.A. 40:55-D-10.3, *The Municipal Land Use Law*, and in accordance with Title 16 of the *Code of the Borough of Freehold*.

**Application Fees**

The following fees have been posted with the Borough in accordance with Title 16 with respect to this matter:

- a. Application Filing Fees               \$850.00
- b. Escrow Deposit                         \$4,500.00

**Administrative Completeness Determination**

As regards the Land Use Application the following is noted:

Application Checklist Item #9: The affidavit of service will need to be addressed at the Planning Board hearing.

Based upon a review of the application materials and supporting documents, it is therefore recommended that this matter be deemed **Complete**.

A copy of the Application Checklist is included herewith for the Planning Board file.

Should you have any questions or require additional information, please do not hesitate to contact our office.

Very truly yours,

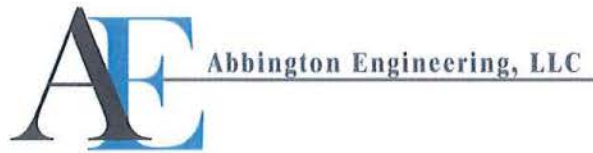
**ABBINGTON ENGINEERING, LLC**

A handwritten signature in blue ink that reads "William T. Wentzien". The signature is written in a cursive, flowing style.

William T. Wentzien, P.E., P.P., C.M.E.  
Freehold Borough Planning Board Engineer

- c. Ronald Cucchiaro, Esq. Planning Board Attorney





1315.002.081  
October 12, 2020

Dominica Napolitano, Secretary  
Freehold Borough Planning Board  
Borough of Freehold  
51 West Main Street  
Freehold, NJ 07728

**RE: BROADWAY FAMILY HEALTH CENTER  
ENGINEERING REVIEW  
USE VARIANCE AND SITE PLAN  
BLOCK 42, LOT 10  
BOROUGH OF FREEHOLD, MONMOUTH COUNTY, NEW JERSEY**

Dear Ms. Napolitano:

Please be advised that I have reviewed the referenced application consisting of the following:

1. Land Use Application Checklist, dated September 14, 2020.
2. Planning Board Application Form, filed September 18, 2020.
3. Zoning Denial, dated June 16, 2020.
4. Site Plan Application, dated September 14, 2020.
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7. Architectural plans entitled 'Office Plan Alterations, Real Estate Investments, Inc., 13 Broadway, Freehold, NJ 07728', prepared by Bach & Clark, LLC, consisting of four (4) sheets. Sheets EX1 & EX2 are dated July 16, 2020. Sheets A-1 & A-2 are dated July 20, 2020.
8. 3 photo images of existing site, black and white, print date of September 15, 2020.

The subject of this application is certain lands known as Block 42, Lot 10, located at 13 Broadway. The site is located in the **B-1 Office Commercial Zone**, and the **Freehold Center Historic District Area** of the Borough. The total area of the subject property is 15,954 square feet.



Existing

The site presently contains an existing 2 ½ story frame building, fronting on Broadway. The majority of the rear portion of the lot contains a paved parking area. The site plan application form indicates existing parking for 8 vehicles. Existing parking spaces are not striped. Access to the rear parking area is by way of a paved driveway off Broadway. The rear parking area also directly connects to adjacent Lot 11, to the south. No parking is permitted along Broadway in this area.

The Planning Board Application indicates the building is currently vacant. The Zoning Application indicates the prior use as Doctor and Architect's Offices.

The architectural plans indicate the following floor areas for the exiting building:

1. First Floor: 1,221 sf
2. Second Floor: 1,157 sf
3. Basement: 920 sf
4. Attic: 460 sf
- Total 3,658 sf

Proposed

The documents indicate the following is proposed:

1. Proposed change of use to a Residential Health Care Facility, with 8 Bedrooms.
2. Zoning Application also indicates: 3 meals per day, dietary services, recreational activities, supervision of medications, supervision of and assistance to activities of daily living, and assistance to obtaining health services.
3. The Site Plan Application indicates seating facilities for 12. 10 for residents, and 2 for service personnel.
4. The proposed use will utilize both floors, the basement and the attic.
5. First Floor: 3 Bedrooms, 2 Bathrooms, Dining Room, Living Area, Reception.
6. Second Floor: 5 Bedrooms, 3 Bathrooms.
7. Basement: Kitchen, Pantry, Laundry, Storage, Utility, Mechanical.
8. Attic: Office Area, Staff Area, 1 Bathroom.
9. The Site Plan Application indicates 4 employees in 2 shifts, with 2 employees per shift. The Zoning application indicates 3 employees.
10. Handicapped Access Ramp and Stairs to rear building access.
11. Mill and Repave a portion of the rear parking area.
12. Stripe the rear parking area to delineate a handicapped parking space and vehicle parking spaces.
13. The Site Plan indicates 13 parking spaces will be provided on-site. One of which will be for handicapped parking.

The applicant has requested a **Use Variance and Final Site Plan Approval**.

The application materials have been reviewed for compliance with relevant ordinances and design standards found in *The Borough of Freehold Code*. Based upon my review, the following information is furnished to assist board members in their deliberation of this matter.

## ZONING

1. As noted in the Zoning Denial, Residential Health Care Facilities are not a permitted use in the B-1 Office Commercial Zone. Use Variance required.
2. The applicant should fully describe the proposed use, and operation, of the Health Care Facility. As a minimum, this should include the residential use aspects, staffing and operational aspects of the facility. The applicant should also review with the Board public/visitor interaction associated with the proposed use.
3. The applicant should provide a review of what is proposed on the site to support the proposed use.
4. Regarding the Use Variance, the applicant will need to provide sufficient planning testimony in support of the variance. The testimony will need to address the positive criteria outlining whether reasons exist for granting the variance, and whether the property is particularly suited for the proposed use. Testimony will also be needed to address the negative criteria outlining how the relief could be granted without substantial detriment to the public good as well as testimony indicating that the variance will not substantially impair the intent and purpose of the zone plan and zoning ordinance.
5. The applicant should describe the neighborhood surrounding the lot in question. This should include existing residential uses within the immediate neighborhood.
6. The following is a summary of the Zoning Requirements of the B-1 Office Commercial Zone as related to this application.

Item	Required	Existing	Proposed
Lot Area	8,000 S.F.	15,954 S.F.	15,954 S.F.
Lot Width	80 FT	80.7 FT	80.7 FT
Building Setback			
Front	20 FT	<b>15.0 FT *</b>	<b>15.0 FT *</b>
Side	8 FT	20.2 FT	20.2 FT
Rear	20 FT	124.8 FT	124.8 FT
Side-Accessory	3 FT	N/A	N/A
Rear-Accessory	3 FT	N/A	N/A
Lot Coverage (Impervious)	40%	<b>74% *</b>	<b>74% *</b>
Max Building Height	35 FT	30.4 FT	30.4 FT
	3 Stories	3 Stories	3 Stories

Existing Variance: \*



### PARKING SPACES/LOADING

1. Per §18.73.010.A.12, for Nursing Homes or Other Institutional Uses for the Care of the Ill or aged, parking is to be provided at the rate of: "one parking space for every four beds, plus one additional parking space for every two employees and members of the staff in the largest working shift."
2. The existing parking area is not striped for individual spaces. The Site Plan Application form indicates 8 spaces under existing conditions.
3. The documents indicate 8 bedrooms, and 4 employees at 2 per shift, being proposed. At 1 bed per bedroom, and max. 2 employees per shift, **3 parking spaces are required.**
4. The Site Plan submitted indicates **proposed striping of the rear paved area, to provide for 13 parking spaces.** One of the 13 is shown to be striped for handicapped parking.
5. The applicant should confirm there will be only 1 bed per bedroom, and a maximum of 2 employees per shift.
6. With 13 parking spaces being proposed, and only 3 parking spaces required, the applicant should indicate how the 13 parking spaces are anticipated to be utilized.
7. It was observed that 4 commercial vehicles, labeled for T&K Contractors, were parked along the rear parking area of the subject lot, within the area that is part of the proposed 13 spaces. Also, it appeared they would be there overnight. The applicant will need to review with the Board the parking situation, once the proposed conditions are in place.
8. Exclusive use of the 13 proposed parking spaces on-site, by the applicant, should be reviewed with the Board.
9. General Note #7 on the Site Plan indicates 8 proposed parking spaces, where 13 are depicted. The applicant should clarify the apparent discrepancy.
10. There are several angled parking spaces, to the left, upon entering the site from Broadway. The Site Plan indicates these spaces are located half on the subject lot, and half on adjacent Lot 11, to the south. These spaces are not part of the noted 13 spaces. They appear to only be accessed from the driveway on the subject lot. The applicant will need to review with the Board, the status and use of these spaces which are located on 2 separate lots. Whose spaces are they, cross use agreements, and maintenance should be reviewed with the Board.

### FENCING

1. Existing fencing is located in several areas. Notably, metal fencing on the northerly side yard, and wooden stockade fencing along the northerly side lot line and the westerly rear lot line. The wooden fencing along the northerly side lot line is in a deteriorated condition, with portions fallen down.

2. The applicant should indicate what is happening regarding existing fencing, and any proposed fencing.
3. Fencing would need to comply with Chapter 18.76 of the Borough of Freehold Code.

### SIGNS

1. The Site Plan references an existing ID Sign in the front yard. A site visit revealed only 2 supporting posts, but no sign. The plans do not indicate anything in regard to signage. The applicant should indicate to the Board if any signage is being proposed.
2. Signage would need to comply with Chapter 15.16 of the Borough of Freehold Code.

### VARIANCES

The following determination of required variances is not deemed to be exhaustive and that additional variances and/or waiver relief may be required. Based upon my review of this matter, the following **Variances** from the Code of the Borough of Freehold appear to exist and should be considered as part of this matter:

- a. **§18.36.020 Permitted Principal Use:** A Residential Health Care Facility is not a permitted use in the B-1 Office Commercial Zone. Use Variance required.
- b. **§18.44.050 Minimum Front Yard:** In the B-1 Office Commercial Zone, the minimum front yard is 20 feet. The building, with covered porch, is set back 15.0 feet from the front lot line, and is in variance. We note this to be an existing condition.
- c. **§18.44.050 Lot Coverage:** The maximum permitted Lot Coverage in the B-1 Office Commercial Zone is 40%. The Site Plans indicate the lot coverage is 74%. We note this to be an existing condition, and no additional impervious area is proposed.

The applicant will need to provide sufficient testimony to the Board to address the Use Variance and Bulk related Variances noted above.

### SITE

1. Per §16.24.060.A, "...Site plan applications which require fewer than ten (10) off-street parking spaces shall be classified as "minor site plans" pursuant to N.J.S.A. 40:55D-5..." The proposed use requires 3 parking spaces. As such, the site plan portion of the overall application would be classified as a Minor Site Plan.
2. The applicant should describe the building being utilized with this application.



3. The applicant should review with the Board any changes to the building exterior, existing access points and any changes to building access.
4. The applicant should indicate how trash/refuse storage and collection will be accommodated. General Note #6 on the Site Plan references refuse storage proposed. No separate refuse storage area is indicated on the plans, and none was observed on-site. At the time of our site visit, we did observe 2 individual domestic size garbage cans sitting out within the area of the right rear parking spaces, which would interfere with utilization of the parking. Outdoor refuse storage would need to comply with Chapter 8.24 of the Borough of Freehold Code.
5. The applicant should indicate how trash collection vehicles will circulate on-site.
6. The applicant should indicate the loading and delivery needs for the proposed use. As a minimum, this should include the types of trucks, frequency, and times of day.
7. The applicant should review how delivery vehicles will be accommodated and circulate on-site.
8. Per §16.24.030.A.13, "...the minimum front or side yard required shall not be used for off-street parking." The parking is shown to be directly at the southerly lot line, abutting adjacent Lot 11. In addition, there are angled parking spaces along the southerly lot line, located on both the subject lot and adjacent Lot 11. A design waiver is required.
9. The applicant should indicate how handicapped accessibility will be accommodated. The Site Plan, and Architectural Plans, indicates a proposed handicapped ramp with platform at the rear access of the building. Construction details, including railing, should be provided for the handicapped ramp and platform.
10. The rear pavement area would need to be cleared of all debris and tree branches.
11. The Site Plans indicate the existing paved area immediately behind the building to be paved with new full depth asphalt pavement. Also, the area covering the handicapped parking space, and adjacent aisle, to be milled and overlaid. And the balance of the rear asphalt to remain as is.
12. It was observed that the rear asphalt area is relatively flat, with a low area near the rear of the building. In addition, there are several asphalt patch areas, and vegetation in asphalt cracks near the rear parking spaces. It is recommended that all gravelly areas, patch areas and areas with vegetated growth be indicated for new full depth pavement repair. It is further recommended, that the entire asphalt area on-site be milled and provided with a new asphalt top course, 2 inches thick, along with proposed grades to eliminate isolated low areas and ponding.
13. It was observed that the existing concrete sidewalk along the property frontage, has one section as asphalt associated with a gas service, and 2 sections that have lifted due to the

roots of an existing tree, and cracks across the driveway section. It is recommended that new concrete sidewalk be provided along the property frontage. And that the final location be coordinated with our office, due to the presence of the street tree, and associated roots.

14. The condition of the existing street tree root system is such that, it is suggested the applicant obtain the review and recommendation, regarding the existing tree and roots, from the Certified Tree Expert that has been previously utilized in the Borough, being Bill Brash of Shelterwood Forest Managers, LLC, 5 Wildwood Way, Freehold, New Jersey (732-890-0725).
15. Being located in the Right-of-Way of State Route 79, the situation regarding sidewalk and the existing street tree and roots, should be reviewed with the New Jersey Department of Transportation.

### **HISTORIC PRESERVATION**

1. Being located within the Freehold Center Historic District Area, any proposed signage, or changes to the exterior of buildings, will require Historic Preservation Advisory Commission review, and their recommendations provided to the Planning Board.

### **PARKING/CIRCULATION**

1. By scale, the plans indicate the existing driveway off Broadway is 12 feet in width. This would allow for safe movements in one direction only at a time. The applicant should review with the Board how traffic circulation patterns will be accommodated for on-site, including traffic control signage. The plans do not delineate control of movements on-site.
2. The on-site paved parking area has a paved interconnection with adjacent Lot 11 to the south. The applicant should review with the Board the existing asphalt interconnection situation, and any agreements associated with the condition.
3. To the left of the driveway upon entering the site, there are several angled parking spaces, oriented for use by way of entering the subject lot only. In addition, the angled spaces are half on the subject lot, and half on adjacent Lot 11 to the south. The applicant should indicate how these spaces are accommodated for, and maintained.
4. The documents would indicate that the angled spaces noted above were not taken into account when providing new striped parking spaces. The applicant should discuss this with the Board. Limits, dimensioning, and grading, should be provided for the angled spaces.
5. The Site Plan indicates that the proposed striping for the left rear parking space will go off-site onto adjacent Lot 11. The applicant should review the accommodations being made for this with the adjacent lot owner.



6. The proposed handicapped parking space and adjacent aisle should be dimensioned on the plans. In addition, an accessible path up to the proposed ramp should be provided, and dimensioned.
7. The existing paved areas on-site are not curbed. In this regard, §16.24.030.A.15 of the Borough Code indicates that curbing is to be provided so that vehicles cannot drive onto landscape areas. The rear parking spaces have existing concrete bumper stops. In similar fashion, it would be recommended that concrete bumper stops be provided for the 6 parking spaces along the north side, against adjacent Lots 8 & 9. Parking along the side lot line is currently controlled by a fence running along its length.

The only other directly applicable area regarding curbing would be at the head of the diagonal parking spaces which are half located on adjacent Lot 11. Use of pavement edge treatment in this area should be discussed with the Board.

The New Jersey Residential Improvement Standards (RSIS) 5:21-4.3(a) states, "Curbs or curbs and gutters shall be used for drainage purposes, safety, and delineation and protection of pavement edge." As previously indicated the site is relatively flat, and the presence or non-presence of raised curbing along the westerly and northern sides would not affect the overall grading pattern. Providing a new top course of asphalt, as recommended above, should be installed to eliminate any existing undulations in grade.

8. The applicant should indicate how emergency vehicles would circulate onsite.
9. The applicant should provide input to the Board regarding control of movements in and out of the Broadway driveway.

### **GRADING**

1. The existing grading is relatively flat, but generally flows in a southerly direction. A few areas have slight low spots. In addition, the gravel area behind the building has grades slightly lower than the surrounding pavement.
2. As previously noted, it is recommended that the entire asphalt area receive a new 2 inch surface course, due to existing undulations in grades, patch areas, vegetative growth, and the low gravel area. The plans should be amended to provide final pavement grades, and contours, for the overall pavement top course, to eliminate the noted concerns.
3. Sufficient additional grade elevations should be provided for an accessible path, between the proposed handicapped parking space and the proposed ramp, to assure compliance with ADA requirements.
4. Grades along the northerly edge of pavement, indicate a low area against the fencing. The grades in this area should be further reviewed by the applicant to eliminate this condition.

5. Additional grading information should be provided for the angled parking spaces, located partially on the subject site, and on adjacent Lot 11.

#### **DRAINAGE**

1. Lot 10 is indicated to contain 15,954 sf (0.37 acres), and have 11,759 sf (0.27 acres) of existing impervious surface. The documents do not indicate any new additional impervious area being proposed.
2. As noted above, amended grading should be reviewed by the applicant, to avoid any ponding conditions along the northerly side lot line.

#### **SANITARY**

1. The plans do not indicate sanitary sewer service. The applicant should indicate if any changes are required to the sanitary sewer service connection to accommodate the building under proposed developed conditions.
2. Utilizing NJDEP Sanitary Sewer flow rates per N.J.A.C 7:14A-23.3, the following is noted:
  - a. Prior Use-office. 1<sup>st</sup> & 2<sup>nd</sup> floor-2,378 sf @ 0.010 gpd/sf equates to 238 gallons per day average flow. A peaking factor of 4 would yield 951 gallons per day peak flow.
  - b. Proposed Use-Health Care Facility (Site Plan General Note #7-Assisted Living). 8 bedrooms @ 100 gpd/bedroom equates to 800 gallons per day average flow. A peaking factor of 4 yields 3,200 gallons per day peak flow.
  - c. Capacity of the sanitary sewer service to accommodate the noted increased flow should be confirmed.

#### **WATER**

1. The plans do not indicate water service. The applicant should indicate if any changes are required to the water service connection to accommodate the building under proposed developed conditions.

#### **LANDSCAPE**

1. The Site Plan should be amended to indicate all existing trees and vegetation areas on-site. Per Site Plan Checklist Item #10, trees over 6 inch caliper should be indicated.



2. It was observed that an existing tree is located on-site by the northerly bay window, and several trees along the rear portion of the northerly side lot line.
3. Per §16.24.030.A.4 "Buffering shall be located around the perimeter of the site to minimize the effect of headlights of vehicles, noise, light from structures, the movement of people and vehicles and to shield activities from adjacent properties...". In this regard, the applicant should indicate the neighboring uses. Other than fencing along the northerly and westerly lot lines, no buffering of the onsite parking exists to neighboring properties, including the diagonal parking along the southerly lot line.
4. The Site Plan does not indicate any proposed landscaping. The applicant should review all site landscaping with the Board.
5. Existing vegetation in the cracks of the existing asphalt should be treated with an appropriate vegetation killer.
6. One street tree exists in the approximate center of the lot frontage. Previous comments and recommendations regarding tree have been noted earlier in this report.

### **LIGHTING**

1. No information regarding site lighting has been received by our office. A site visit revealed a deteriorated non-functioning light pole in the right rear corner. In addition, a flood light over the rear building access was observed. No other site lighting noted.
2. A Lighting Plan should be provided to adequately provide for site lighting of the parking area, handicapped accessible path, driveway and pedestrian walkways.
3. A point-by-point lighting grid plan should be provided demonstrating adequacy of lighting, and no light spillage onto adjacent properties.

### **DETAILS**

1. Details should be provided for the following:
  - a. Handicapped ramp and railing
  - b. Concrete sidewalk
  - c. Refuse enclosure
  - d. On-Site Pavement Section Detail should be revised to provide for 4 inch compacted thickness bituminous concrete stabilized base course.

### **SITE PLAN CHECKLIST**

1. Checklist #10 (§16.24.020.C.10): The Site Plan should be amended to indicate the location for all trees over 6 inch in caliper.
2. Checklist #12 (§16.24.020.C.12): plans to indicate “the location, names and widths of all existing...streets (including cross sections and profiles) abutting...and within 200 feet of the lot”. The Site Plans have provided sufficient information on Broadway to allow for review. Our office would have no objection to the granting of a waiver from this requirement.
3. Checklist #31: Applicant should provide confirmation of submission to the County Planning Board, or comments as may have been received.
4. Checklist #32: The Site Plans should revised to provide location and details for a refuse enclosure area.

### **WAIVERS**

Based upon my review of this matter, the following **Waivers** from the Code of the Borough of Freehold appear to exist and should be considered as part of the matter:

- a. **§16.24.030.A.13 Parking Setback** “...the minimum front or side yard required shall not be used for off-street parking.” The minimum side yard is 8 feet. The parking is shown to be directly on the northerly side lot line, abutting adjacent Lots 8 & 9, and directly on the southerly side lot line, abutting adjacent Lot 11. A design waiver is required.
- b. **§16.24.030.A.13 Parking Lot Curbing** “... all parking spaces shall be provided with curbing or the equivalent so that vehicles cannot drive onto required landscape areas ...” No curbing exists, nor is proposed. A design waiver is required.

### **APPROVALS**

It is the applicant’s responsibility to obtain all required approvals/permits from outside agencies. These may include, but not be limited to the following:

1. Monmouth County Planning Board
2. Freehold Soil Conservation District Certification (disturbance over 5,000 square feet)
3. NJDOT Permitting.

### **PRE-CONSTRUCTION MEETING AND INSPECTIONS**

If approved and prior to the issuance of construction permit, the applicant shall contact the Freehold Borough engineer to schedule a preconstruction meeting, and a schedule of re-inspections during the construction process. All site improvements must be inspected during construction by the Freehold Borough engineer.

### **RECOMMENDATIONS**

1. As regard the Use Variance, Bulk Variances, and design waivers, the applicant will need to provide all necessary testimony so that the Board may render the decision deemed appropriate.
2. As may be required, the applicant should review with the Board, all discussions, input and recommendations as received from the Freehold Borough Historic Preservation Advisory Commission.
3. It is recommended that any action that may be taken by the Board is subject to the applicant adequately addressing all items noted within this report.

Should you have any questions or require additional information, please do not hesitate to contact me.

Very truly yours,

**ABBINGTON ENGINEERING, LLC**



William T. Wentzien, P.E., P.P., C.M.E.  
Freehold Borough Planning Board Engineer

cc: Ronald Cucchiaro, Esq., Planning Board Attorney  
Matthew Young, Borough Zoning Officer  
Stephen J. Gallo, Freehold Borough Administrator  
Michael Sweetman, Freehold Borough Administrator's Office  
Vincent E. Halleran, Jr., Esq., Applicant's Attorney  
Robert Sive, PE, P.P., Applicant's Engineer and Planner  
Greg Clark, Applicant's Architect





1315.002.081  
October 12, 2020

*Amended December 2, 2020*

Dominica Napolitano, Secretary  
Freehold Borough Planning Board  
Borough of Freehold  
51 West Main Street  
Freehold, NJ 07728

**RE: BROADWAY FAMILY HEALTH CENTER  
ENGINEERING REVIEW  
USE VARIANCE AND SITE PLAN  
BLOCK 42, LOT 10**

Dear Ms. Napolitano:

An amended review has been made for the referenced application. Please note that additional review comments regarding the materials received since the October 12, 2020 Engineering Review, are noted in bold italic type. The following has been reviewed:

1. Land Use Application Checklist, dated September 14, 2020.
2. Planning Board Application Form, filed September 18, 2020.
3. Zoning Denial, dated June 16, 2020.
4. Site Plan Application, dated September 14, 2020.
5. Site Plan Checklist, dated September 14, 2020.
6. Plan entitled 'Variance/Minor Site Plan, Tax Lot 10, Block 42, 13 Broadway, Freehold Borough, Monmouth County, New Jersey', prepared by Geller Sive & Company, consisting of *two (2) sheets. Sheet 1 dated September 11, 2020, revised to November 13, 2020. Sheet 2 dated November 13, 2020.*
7. *Turning Movement Plan, prepared by Geller, Sive & Company, consisting of one (1) sheet, dated November 13, 2020.*
8. Architectural plans entitled 'Office Plan Alterations, Real Estate Investments, Inc., 13 Broadway, Freehold, NJ 07728', prepared by Bach & Clark, LLC, consisting of two (2) sheets, labeled EX1 & EX2, dated July 16, 2020, indicating existing conditions.



9. *Architectural plans entitled 'Office Plan Alterations, Real Estate Investments, Inc., 13 Broadway, Freehold, NJ 07728', prepared by Bach & Clark, LLC, consisting of three (3) sheets, labeled A-1, A-2 & A-3, indicating proposed conditions. A-1 & A-2 are dated November 5, 2020. Sheet A-3 is dated July 16, 2020.*
10. 3 photo images of existing site, black and white, print date of September 15, 2020.
11. *Easement Agreement, dated April 30, 1987.*
12. *Easement Agreement, dated August 27, 1998.*
13. *Historic Preservation Advisory Commission Resolution, dated October 26, 2020.*
14. *Business Plan, consisting of 5 sheets, no date.*
15. *Tree Assessment Report, prepared by Shelterwood Forest Managers, LLC, issued November 27, 2020.*

The subject of this application is certain lands known as Block 42, Lot 10, located at 13 Broadway. The site is located in the **B-1 Office Commercial Zone**, and the **Freehold Center Historic District Area** of the Borough. The total area of the subject property is 15,954 square feet.

#### Existing

The site presently contains an existing 2 ½ story frame building, fronting on Broadway. The majority of the rear portion of the lot contains a paved parking area. The site plan application form indicates existing parking for 8 vehicles. Existing parking spaces are not striped. Access to the rear parking area is by way of a paved driveway off Broadway. The rear parking area also directly connects to adjacent Lot 11, to the south. No parking is permitted along Broadway in this area.

The Planning Board Application indicates the building is currently vacant. The Zoning Application indicates the prior use as Doctor and Architect's Offices.

The architectural plans indicate the following floor areas for the exiting building:

- |                  |          |
|------------------|----------|
| 1. First Floor:  | 1,221 sf |
| 2. Second Floor: | 1,157 sf |
| 3. Basement:     | 920 sf   |
| 4. Attic:        | 460 sf   |
| Total            | 3,758 sf |

Proposed

The documents indicate the following is proposed:

1. Proposed change of use to a Residential Health Care Facility, of 8 Bedrooms *with 10 beds*.
2. Zoning Application also indicates: 3 meals per day, dietary services, recreational activities, supervision of medications, supervision of and assistance to activities of daily living, and assistance to obtaining health services.
3. The Site Plan Application indicates seating facilities for 12. 10 for residents, and 2 for service personnel.
4. The proposed use will utilize both floors, the basement and the attic.
5. First Floor: 3 Bedrooms, 2 Bathrooms, Dining Room, Living Area, Reception.
6. Second Floor: 5 Bedrooms, 3 Bathrooms.
7. Basement: Kitchen, Pantry, Laundry, Storage, Utility, Mechanical.
8. Attic: Office Area, Staff Area, 1 Bathroom.
9. The Site Plan Application indicates 4 employees in 2 shifts, with 2 employees per shift. The Zoning application indicates 3 employees.
10. Handicapped Access Ramp and Stairs to rear building access.
11. Mill and Repave a portion of the rear parking area.
12. Stripe the rear parking area to delineate a handicapped parking space and vehicle parking spaces.
13. The Site Plan *delineates 14 parking spaces* will be provided on-site. One of which is for handicapped parking.

The applicant has requested a **Use Variance and Final Site Plan Approval**.

The application materials have been reviewed for compliance with relevant ordinances and design standards found in *The Borough of Freehold Code*. Based upon my review, the following information is furnished to assist board members in their deliberation of this matter.

**ZONING**

1. As noted in the Zoning Denial, Residential Health Care Facilities are not a permitted use in the B-1 Office Commercial Zone. Use Variance required.
2. The applicant should fully describe the proposed use, and operation, of the Health Care Facility. As a minimum, this should include the residential use aspects, staffing and operational aspects of the facility. The applicant should also review with the Board public/visitor interaction associated with the proposed use.
3. The applicant should provide a review of what is proposed on the site to support the proposed use.



4. Regarding the Use Variance, the applicant will need to provide sufficient planning testimony in support of the variance. The testimony will need to address the positive criteria outlining whether reasons exist for granting the variance, and whether the property is particularly suited for the proposed use. Testimony will also be needed to address the negative criteria outlining how the relief could be granted without substantial detriment to the public good as well as testimony indicating that the variance will not substantially impair the intent and purpose of the zone plan and zoning ordinance.
5. The applicant should describe the neighborhood surrounding the lot in question. This should include existing residential uses within the immediate neighborhood.
6. The following is a summary of the Zoning Requirements of the B-1 Office Commercial Zone as related to this application.

Item	Required	Existing	Proposed
Lot Area	8,000 S.F.	15,954 S.F.	15,954 S.F.
Lot Width	80 FT	80.7 FT	80.7 FT
Building Setback			
Front	20 FT	15.0 FT *	15.0 FT *
Side	8 FT	20.2 FT	20.2 FT
Rear	20 FT	124.8 FT	124.8 FT
Side-Accessory	3 FT	N/A	N/A
Rear-Accessory	3 FT	N/A	N/A
Lot Coverage (Impervious)	40%	74% *	74% *
Max Building Height	35 FT	30.4 FT	30.4 FT
	3 Stories	3 Stories	3 Stories

Existing Variance: \*

#### **PARKING SPACES/LOADING**

1. Per §18.73.010.A.12, for Nursing Homes or Other Institutional Uses for the Care of the Ill or aged, parking is to be provided at the rate of: "one parking space for every four beds, plus one additional parking space for every two employees and members of the staff in the largest working shift."
2. The existing parking area is not striped for individual spaces. The Site Plan Application form indicates 8 spaces under existing conditions.
3. The documents indicate 8 bedrooms, *with 10 beds (Site Plan General Note #6)*, and 4 employees at 2 per shift, being proposed. At 1 bed per bedroom, and max. 2 employees per shift, *4 parking spaces are required per Freehold Borough Code.*

4. Per Residential Site Improvement Standards (RSIS) parking for Assisted Living is required at the rate of: 0.5 spaces per bedroom. *At 10 bedrooms, 5 parking spaces are required per RSIS.*
5. The Site Plan submitted indicates *proposed striping of the rear paved area, to provide for 14 parking spaces. The existing angled parking spaces are not included in the 14.* One of the 14 is shown to be striped for handicapped parking.
6. The applicant should *confirm there will be 10 beds within 8 bedrooms*, and a maximum of 2 employees per shift.
7. With *14 parking spaces being proposed*, and only 5 parking spaces required per RSIS, the applicant should indicate *how the 14 parking spaces are anticipated to be utilized, and by whom.*
8. It was observed that 4 commercial vehicles, labeled for T&K Contractors, were parked along the rear parking area of the subject lot, within the area that is part of the proposed 14 spaces. Also, it appeared they would be there overnight. *The Easement documents indicate that adjacent Lot 11 may use up to 5 parking spaces along the rear of Lot 10. This would leave 9 parking spaces for the proposed use.*
9. *Upon review of the Easement Documents, they generally indicate the following:*
  - a. *The Easement is for Lots 10 & 11.*
  - b. *For use by both lots, ingress to be on Lot 10, and egress to be on Lot 11.*
  - c. *To provide for a driveway link between Lots 10 & 11.*
  - d. *Each of the lots to construct, and maintain, a 12 ft. wide driveway.*
  - e. *Lot 11 may use up to 5 parking spaces, which are depicted to be along the rear lot line of Lot 10.*
  - f. *The Easement Documents are silent in specific regard to the angled spaces.*
10. *The applicant should review the use of, and maintenance of, the angled parking spaces being physically located on both Lots 10 & 11.*
11. *The referenced Turing Movement Plan indicates available utilization of the angled parking spaces by passenger vehicles only. This would exclude use by larger vehicles. The applicant should review with the Board, the limitation of vehicle use in the angled spaces.*

## FENCING

1. Existing fencing is located in several areas. Notably, metal fencing on the northerly side yard, and wooden stockade fencing along the northerly side lot line and the westerly rear lot line. The wooden fencing along the northerly side lot line is in a deteriorated condition, with portions that have fallen down.



2. *The Site Plans indicate that existing fencing along the northerly lot line, shall be repaired or replaced as required.*
3. Fencing would need to comply with Chapter 18.76 of the Borough of Freehold Code.

### SIGNS

1. The Site Plan references an existing ID Sign in the front yard. A site visit revealed only 2 supporting posts, but no sign.
2. *At the Planning Board meeting of October 28, 2020, the applicant indicated that no signs are proposed as part of this application.*

### VARIANCES

The following determination of required variances is not deemed to be exhaustive and that additional variances and/or waiver relief may be required. Based upon my review of this matter, the following **Variances** from the Code of the Borough of Freehold appear to exist and should be considered as part of this matter:

- a. **§18.36.020 Permitted Principal Use:** A Residential Health Care Facility is not a permitted use in the B-1 Office Commercial Zone. Use Variance required.
- b. **§18.44.050 Minimum Front Yard:** In the B-1 Office Commercial Zone, the minimum front yard is 20 feet. The building, with covered porch, is set back 15.0 feet from the front lot line, and is in variance. We note this to be an existing condition.
- c. **§18.44.050 Lot Coverage:** The maximum permitted Lot Coverage in the B-1 Office Commercial Zone is 40%. The Site Plans indicate the lot coverage is 74%. We note this to be an existing condition, and no additional impervious area is proposed.

The applicant will need to provide sufficient testimony to the Board to address the Use Variance and Bulk related Variances noted above.

### SITE

1. Per §16.24.060.A, "...Site plan applications which require fewer than ten (10) off-street parking spaces shall be classified as "minor site plans" pursuant to N.J.S.A. 40:55D-5...". The proposed use requires 3 parking spaces. As such, the site plan portion of the overall application would be classified as a Minor Site Plan.

2. The applicant should describe the building being utilized with this application.
3. The applicant should review with the Board any changes to the building exterior, existing access points and any changes to building access.
4. *The Site Plans indicate a trash storage area off the rear northerly side of the building. The storage area is shown to be 4 ft. by 6 ft, surrounded by a 4 ft high vinyl fence with gate. The fence detail on Site Plan sheet 2 would indicate the fence to be of a solid type. The applicant should discuss access to the storage area, as same is located to the side of proposed steps. The location of the gate should also be indicated.*
5. *At the Planning Board meeting of October 28, 2020 the applicant indicated that refuse will be accommodated by curb side pick-up.*
6. *At the Planning Board meeting of October 28, 2020 the applicant the use will not require delivery vehicles on-site.*
7. Per §16.24.030.A.13, "...the minimum front or side yard required shall not be used for off-street parking." The parking is shown to be directly at the southerly lot line, abutting adjacent Lot 11. In addition, there are angled parking spaces along the southerly lot line, located on both the subject lot and adjacent Lot 11. A design waiver is required.
8. The Site Plan, and Architectural Plans, indicates a proposed handicapped ramp with platform at the rear access of the building. Construction details, including railing, should be provided for the handicapped ramp and platform.
9. *The Site Plans indicate areas of proposed full depth pavement section and in addition, to provide milling and a new 2 in. surface course on all pavement areas.*
10. It was observed that the existing concrete sidewalk along the property frontage, has one section as asphalt associated with a gas service, and 2 sections that have lifted due to the roots of an existing tree, and cracks across the driveway section. It is recommended that new concrete sidewalk be provided along the property frontage. *At the Planning Board meeting of October 28, 2020, the applicant indicated new concrete sidewalk will be provided across the site frontage. The Site Plans should be amended to indicate area, and limits, of new concrete sidewalk.*
11. The condition of the existing street tree root system is such that, it is suggested the applicant obtain the review and recommendation, regarding the existing tree and roots, from the Certified Tree Expert that has been previously utilized in the Borough, being Bill Brash of Shelterwood Forest Managers, LLC, 5 Wildwood Way, Freehold, New Jersey (732-890-0725). *A Tree Assessment Report has been received. The report outlines the condition of the tree and the visible roots. The final recommendation of the report, by Shelterwood Forest Managers, LLC is for the removal of the tree, and plant 2 replacement trees. This should be reviewed with the Board.*



12. Any work within the Right-of-Way of State Route 79 should be reviewed with the New Jersey Department of Transportation.

### **HISTORIC PRESERVATION**

1. *A Resolution was issued by the Historic Preservation Advisory Commission, dated October 26, 2020. Items noted are: siding, railing, lattice and to come back for windows if needed. The applicant should review with the Board, compliance with the recommendations noted.*

### **PARKING/CIRCULATION**

1. *The Site Plans indicate a proposed 'Do Not Enter' sign, along the pavement aisle, near the rear of the building, to control on-way entrance movements into Lot 10.*
2. *§16.24.030.A.15 of the Borough Code indicates that curbing is to be provided so that vehicles cannot drive onto landscape areas. The rear parking spaces have existing concrete bumper stops. The Site Plans indicate proposed concrete bumper stops for the 9 parking spaces along the north side, against adjacent Lots 8 & 9.*
3. *The only other directly applicable area regarding curbing would be at the head of the diagonal parking spaces which are partially located on adjacent Lot 11. Use of pavement edge treatment in this area should be discussed with the Board.*
4. *The New Jersey Residential Improvement Standards (RSIS) 5:21-4.3(a) states, "Curbs or curbs and gutters shall be used for drainage purposes, safety, and delineation and protection of pavement edge." As previously indicated the site is relatively flat, and the presence or non-presence of raised curbing along the westerly and northern sides would not affect the overall grading pattern.*
5. *The applicant should indicate how emergency vehicles would circulate onsite.*
6. *The Site Plan, with associated driveway and circulation, should be reviewed by the Borough Fire Official.*

### **GRADING**

1. *The Site Plans indicate proposed grading associated with the areas of new full depth pavement section, and overall 2 in. pavement overlay.*
2. *Additional grading information should be provided for the angled parking spaces, located partially on the subject site, and on adjacent Lot 11. The grading provided on the Site Plans would suggest a low area for the northeasterly most angled spaces. The grading should be reviewed further.*



### DRAINAGE

1. Lot 10 is indicated to contain 15,954 sf (0.37 acres), and have 11,759 sf (0.27 acres) of existing impervious surface. The documents do not indicate any new additional impervious area being proposed.

### SANITARY

1. The plans do not indicate sanitary sewer service. The applicant should indicate if any changes are required to the sanitary sewer service connection to accommodate the building under proposed developed conditions.
2. Utilizing NJDEP Sanitary Sewer flow rates per N.J.A.C 7:14A-23.3, the following is noted:
  - a. Prior Use-office. 1<sup>st</sup> & 2<sup>nd</sup> floor-2,378 sf @ 0.010 gpd/sf equates to 238 gallons per day average flow. A peaking factor of 4 would yield 951 gallons per day peak flow.
  - b. Proposed Use-Health Care Facility (Site Plan General Note #7-Assisted Living). 8 bedrooms @ 100 gpd/bedroom equates to 800 gallons per day average flow. A peaking factor of 4 yields 3,200 gallons per day peak flow.
  - c. *The project will result in an increased average daily sanitary flow of 562 gallons per day. The applicant will need to comply with the Building Department regarding sanitary sewer connection.*

### WATER

1. The plans do not indicate water service. The applicant should indicate if any changes are required to the water service connection to accommodate the building under proposed developed conditions.

### LANDSCAPE

1. Per §16.24.030.A.4 "Buffering shall be located around the perimeter of the site to minimize the effect of headlights of vehicles, noise, light from structures, the movement of people and vehicles and to shield activities from adjacent properties...". In this regard, the applicant should indicate the neighboring uses. Other than fencing along the northerly and westerly lot lines, no buffering of the onsite parking exists to neighboring properties, including the diagonal parking along the southerly lot line.
2. *The applicant should review the proposed landscaping with the Board.*

3. *The Site Plans indicate minimal proposed landscaping on both sides of the driveway near the rear of the building. Consideration may wish to be given for additional landscaping along the front portion of both side lot lines, in the form of medium size flowering plants, to further buffer against adjacent lots.*
4. Existing vegetation in the cracks of the existing asphalt should be treated with an appropriate vegetation killer. *A note should be provided on the Site Plans.*
5. *It is recommended that two (2) shade trees be provided along Broadway, as associated with any removal of the existing street tree.*

### LIGHTING

1. *The revised Site Plans indicate proposed lighting, consisting of 3 pole mounted lights at 14 feet, and 2 wall mounted lights at 10 feet.*
2. *The Lighting Plan should show location of house side shields. The Lighting Plan indicates some light spillage on adjacent lots. The plans should be revised to eliminate light spillage.*
3. *A complete pole mount/wall amount detail of the proposed lighting fixtures and poles, should be provided.*

### DETAILS

1. Details should be provided for the following:
  - a. Handicapped ramp and railing
  - b. Concrete sidewalk
  - c. Refuse enclosure
  - d. On-Site Pavement Section Detail should be revised to provide for 4 inch compacted thickness bituminous concrete stabilized base course.

### SITE PLAN CHECKLIST

1. Checklist #12 (§16.24.020.C.12): plans to indicate "the location, names and widths of all existing...streets (including cross sections and profiles) abutting...and within 200 feet of the lot". The Site Plans have provided sufficient information on Broadway to allow for review. Our office would have no objection to the granting of a waiver from this requirement.
2. Checklist #31: Applicant should provide confirmation of submission to the County Planning Board, or comments as may have been received.

### **WAIVERS**

Based upon my review of this matter, the following **Waivers** from the Code of the Borough of Freehold appear to exist and should be considered as part of the matter:

- a. **§16.24.030.A.13 Parking Setback** "...the minimum front or side yard required shall not be used for off-street parking." The minimum side yard is 8 feet. The parking is shown to be directly on the northerly side lot line, abutting adjacent Lots 8 & 9, and directly on the southerly side lot line, abutting adjacent Lot 11. A design waiver is required.
- b. **§16.24.030.A.13 Parking Lot Curbing** "... all parking spaces shall be provided with curbing or the equivalent so that vehicles cannot drive onto required landscape areas ..." No curbing exists, nor is proposed. A design waiver is required.

### **APPROVALS**

It is the applicant's responsibility to obtain all required approvals/permits from outside agencies. These may include, but not be limited to the following:

1. Monmouth County Planning Board
2. Freehold Soil Conservation District Certification (disturbance over 5,000 square feet)
3. NJDOT Permitting.

### **PRE-CONSTRUCTION MEETING AND INSPECTIONS**

If approved and prior to the issuance of construction permit, the applicant shall contact the Freehold Borough engineer to schedule a preconstruction meeting, and a schedule of re-inspections during the construction process. All site improvements must be inspected during construction by the Freehold Borough engineer.

### **RECOMMENDATIONS**

1. As regard the Use Variance, Bulk Variances, and design waivers, the applicant will need to provide all necessary testimony so that the Board may render the decision deemed appropriate.
2. The applicant should review with the Board, all discussions, input and recommendations as received from the Freehold Borough Historic Preservation Advisory Commission.
3. It is recommended that any action that may be taken by the Board is subject to the applicant adequately addressing all items noted within this report.



Should you have any questions or require additional information, please do not hesitate to contact me.

Very truly yours,

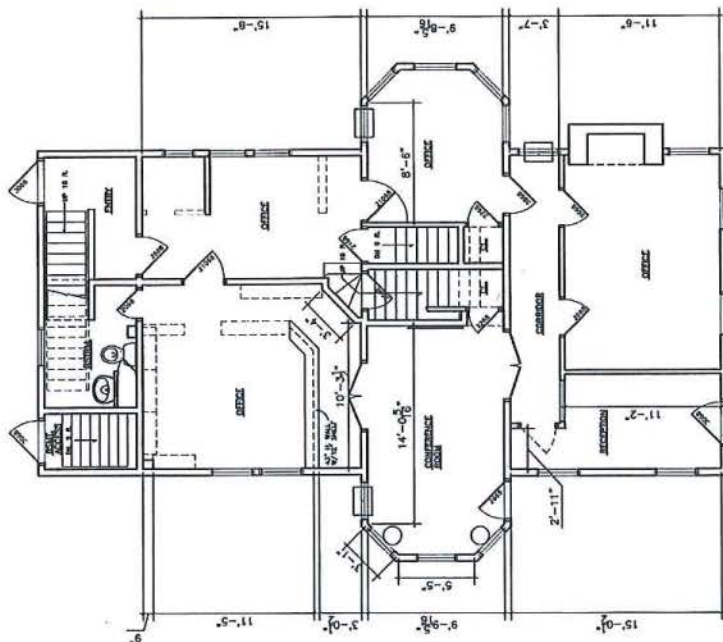
**ABBINGTON ENGINEERING, LLC**



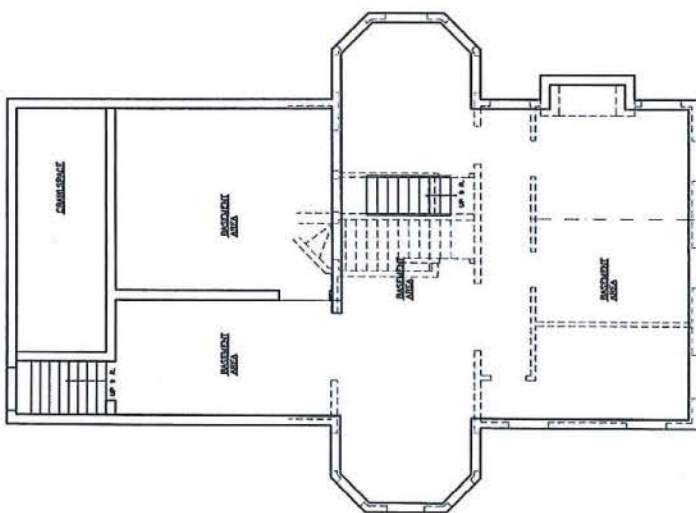
William T. Wentzien, P.E., P.P., C.M.E.  
Freehold Borough Planning Board Engineer

cc: Ronald Cucchiaro, Esq., Planning Board Attorney  
Matthew Young, Borough Zoning Officer  
Stephen J. Gallo, Freehold Borough Administrator  
Michael Sweetman, Freehold Borough Administrator's Office  
Vincent E. Halleran, Jr., Esq., Applicant's Attorney  
Robert Sive, PE, P.P., Applicant's Engineer and Planner  
Greg Clark, Applicant's Architect



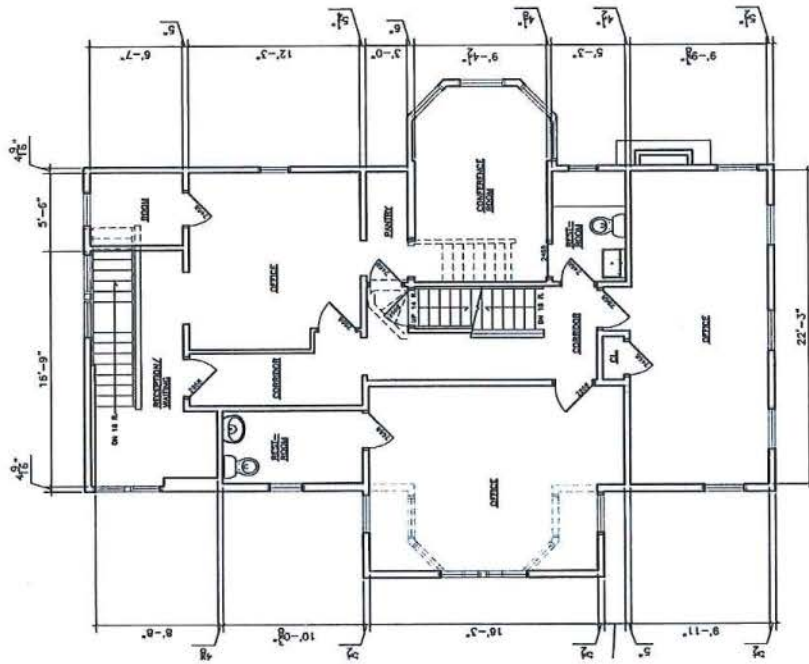


**EXISTING FIRST LEVEL PLAN**  
 SCALE: 1/4" = 1'-0"  
 SECOND LEVEL AREA: 1,221 S.F.

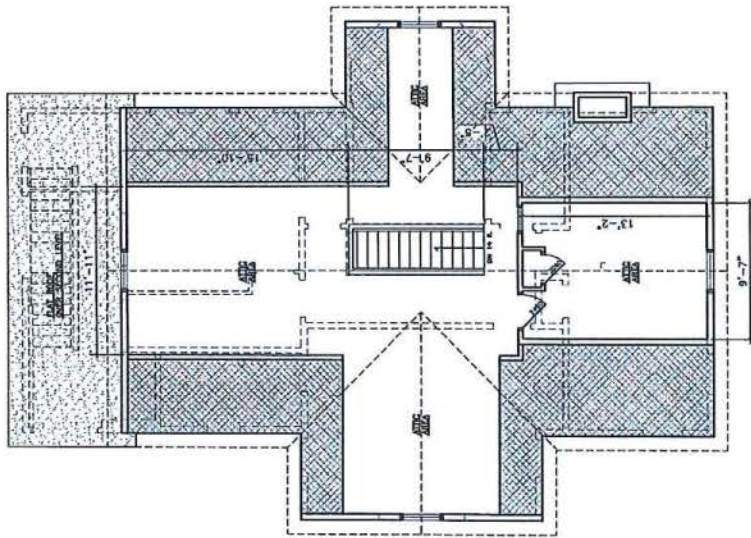


**EXISTING BASEMENT PLAN**  
 SCALE: 1/4" = 1'-0"  
 SECOND LEVEL AREA: 920 S.F.



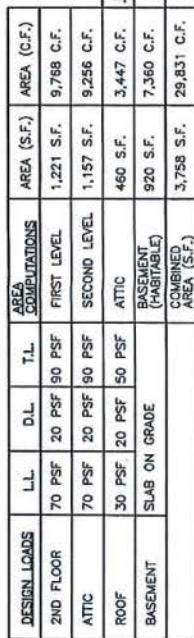


EXISTING SECOND  
 LEVEL PLAN  
 SCALE: 1/4" = 1'-0"  
 SECOND LEVEL AREA: 1,157 S.F.

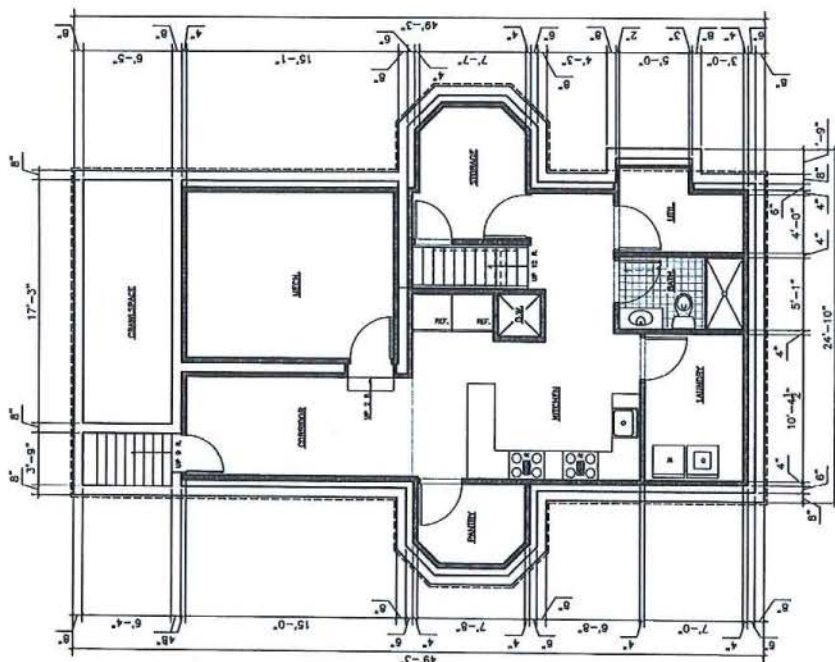


EXISTING ATTIC  
 LEVEL PLAN  
 SCALE: 1/4" = 1'-0"  
 ATTIC LEVEL AREA: 460 S.F.

SCALE: 1/4" = 1'-0"  
SECOND LEVEL AREA: 1,221 S.F.

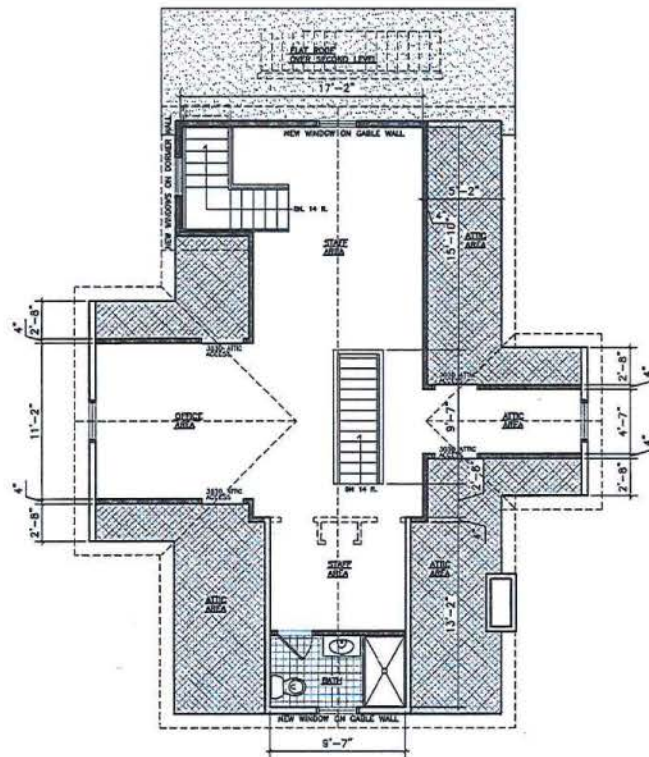


SCALE: 1/4" = 1'-0"  
SECOND LEVEL AREA: 920 S.F.



**SUBJECT**  
**PROPOSED FIRST**  
**LEVEL - BASEMENT PLAN**

REVISIONS	SCALE	AS NOTED	DATE	DRAWN BY	PROJECT	SHEET NO.
			07-20-20	OC		A-1



### PROPOSED ATTIC LEVEL PLAN

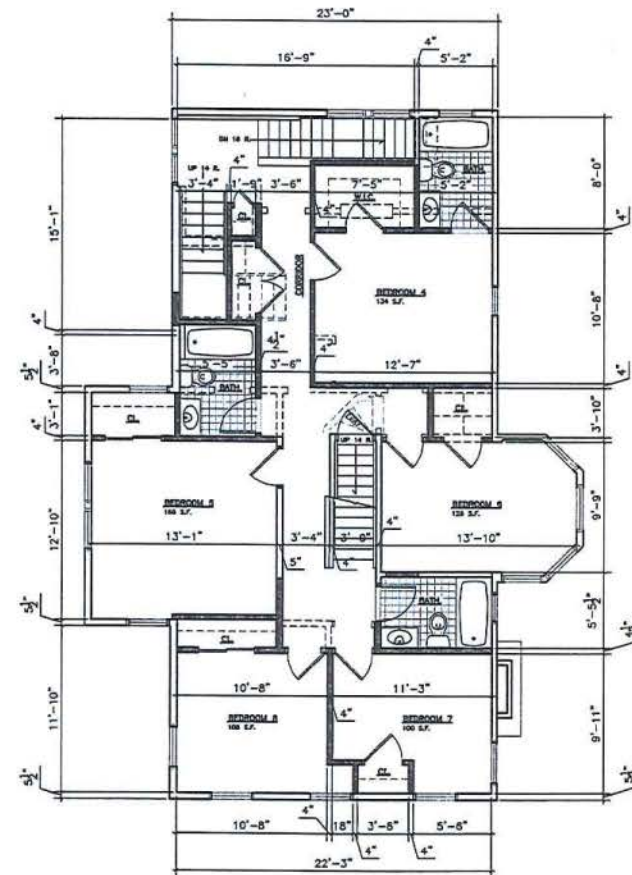
SCALE: 1/4" = 1'-0"

ATTIC LEVEL AREA: 460 S.F.

#### ATTIC FINISH NOTES:

1. ROOF TO BE INSULATED W/R-21 OR BETTER.
2. COLLAR TIES @ 24" O.C. 8'-0" A.F.F.
3. INSTALL 1/2" GYPBS. ON UNDERSIDE OF RAFTERS.
4. VENT RAFTER CAVITIES.

DESIGN LOADS	LL	D.L	T.L	AREA COMPUTATIONS	AREA (S.F.)	AREA (C.F.)
2ND FLOOR	70 PSF	20 PSF	90 PSF	FIRST LEVEL	1,221 S.F.	9,768 C.F.
ATTIC	70 PSF	20 PSF	90 PSF	SECOND LEVEL	1,157 S.F.	9,256 C.F.
ROOF	30 PSF	20 PSF	50 PSF	ATTIC	460 S.F.	3,447 C.F.
BASEMENT	SLAB ON GRADE			BASEMENT (HABITABLE)	920 S.F.	7,360 C.F.
				COMBINED AREA (S.F.)	3,758 S.F.	29,831 C.F.



### PROPOSED SECOND LEVEL PLAN

SCALE: 1/4" = 1'-0"

SECOND LEVEL AREA: 1,157 S.F.

BUILDING DATA		WALL SYMBOLS	
USE GROUP	R-4	----	EXIST. WALLS TO BE REMOVED
CONSTRUCTION TYPE	5B	=====	EXIST. WALLS TO REMAIN - NEW PARTS AS NOTED
		=====	NEW WALLS - 2 X 4 @ 16" O.C.
		=====	WOOD STUDS
		=====	NEW CONCR. BLOCK WALLS - 16" O.C. @ 16"

**BACH + CLARK, I.L.C.**  
ARCHITECTURE  
10 Zeller Road, Long Grove, IL 60070  
NEW GREENVILLE, CT 06455  
NEW GREENVILLE, CT 06455

PROJECT: OFFICE PLAN ALTERATIONS  
OWNER: REAL ESTATE INVESTMENTS INC.  
LOCATION: 13 BROADWAY  
FRESHFOLD, N.J. 07728

SUBJECT: PROPOSED SECOND  
LEVEL - ATTIC PLAN

REVISIONS

SCALE: AS NOTED  
DATE: 07-20-20  
DRAWN BY: CC  
PROJECT

SHEET NO.

A-2



9/15/2020

13 Broadway, Freehold, NJ 07728 | Zillow

Photos

♡ Save Home

✉ Share



Sold: \$190,250 (-- beds, -- baths, 2,674 Square Feet)

[https://www.zillow.com/homedetails/13-Broadway-Freehold-NJ-07728/2136311297\\_zpid/7mmlb=g,0](https://www.zillow.com/homedetails/13-Broadway-Freehold-NJ-07728/2136311297_zpid/7mmlb=g,0)

1/12

9/15/2020

13 Broadway, Freehold, NJ 07728 | Zillow

Photos

Home Saved

Share



Sold: \$190,250 (-- beds, -- baths, 2,674 Square Feet)

[https://www.zillow.com/homedetails/13-Broadway-Freehold-NJ-07728/2136311297\\_zpid/?mmlb=g,1](https://www.zillow.com/homedetails/13-Broadway-Freehold-NJ-07728/2136311297_zpid/?mmlb=g,1)

2/11

9/15/2020

13 Broadway, Freehold, NJ 07728 | Zillow

Photos

Home Saved

Share



Sold: \$190,250 (-- beds, -- baths, 2,674 Square Feet)

[https://www.zillow.com/homedetails/13-Broadway-Freehold-NJ-07728/2136311297\\_zpld/?mmlb=g,5](https://www.zillow.com/homedetails/13-Broadway-Freehold-NJ-07728/2136311297_zpld/?mmlb=g,5)

1/11



The background of the entire page is an abstract composition of blue and black. It features a series of curved, concentric lines that create a sense of depth, resembling a tunnel or a vortex. A bright, glowing light source at the top left corner casts a beam of light that illuminates the inner curves of the tunnel, creating a gradient from deep blue to bright white. The overall effect is one of dynamic movement and futuristic design.

# Broadway Family Health Center

PRESENTED BY MARK VAYSBERG, DANIEL VAYSBERG, VINCE  
HALLAREN, GREG CLARK AND ROBERT SIVA

# Broadway Family Health Center

- Building and Land Description
- Need for Additional Service in Area and Proposed Use
- Engineering description and zoning testimony
- Architectural description

# Broadway Family Health Center

## Building and Land Description

The site presently contains an existing 3 story frame building with fully functional basement, fronting on Broadway. The majority of the rear portion of the lot contains a paved parking area, with the site plan application form indicating existing parking for 12 vehicles. Access to the rear parking area is by way of a paved driveway off Broadway.

The Planning Board Application indicates the building is currently vacant. The prior use was Professional Offices. The architectural plans indicate the following floor areas for the existing building:

1. First Floor: 1,221 sf
2. Second Floor: 1,157 sf
3. Basement: 920 sf
4. Attic: 460 sf



# Broadway Family Health Center

## Need for Additional Service in Area

Community Health Assessment FY 2016 of Monmouth County, Freehold, and Borough of Freehold concludes, "Health for seniors and caregivers are put on the back burner as they struggle with appointments and transportation – especially for the caregiver. If seniors cannot stay at their home, health is not as important." (CHNA)

Broadway Family Health Center's goals include the provision of luxury accommodation and a high level of supervisory medical care for all residents. Our team plans to create a comforting home environment where residents will have round the clock supervision by our highly trained, professional staff and access to numerous activities catered to each resident.

*Community-Health-Needs-Assessment-2016-Final-1.Pdf.* <https://centrastate-corp.azureedge.net/wp-content/uploads/sites/9/2018/03/Community-Health-Needs-Assessment-2016-Final-1.pdf>. Accessed 7 Oct. 2020. Accessed 7 Oct. 2020.

# Broadway Family Health Center

## Proposed Use and Building Description

1. Proposed change of use to a Residential Health Care Facility, with 8 Bedrooms for no more than 10 residents.
2. The Facility will provide 3 meals per day, dietary services, recreational activities, laundry and cleaning services, supervision of medications, supervision of and assistance to activities of daily living, and assistance to obtaining health services.
3. The Site Plan Application indicates seating facilities for 12. 10 for residents, and 2 for service personnel.
4. The proposed use will utilize both floors, the basement and the attic.
5. First Floor: 3 Bedrooms, 2 Bathrooms, Dining Room, Living Area, Reception.
6. Second Floor: 5 Bedrooms, 3 Bathrooms.
7. Basement: Kitchen, Pantry, Laundry, Storage, Utility, Mechanical.

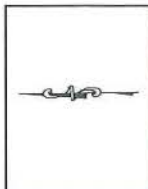


# Broadway Family Health Center

## Proposed Use and Building Description cont.

8. Attic: Office Area, Staff Area, 1 Bathroom.
9. The Site Plan Application indicates 4 employees in 2 shifts, with 2 employees per shift to achieve 24/7 supervision, coverage.
10. Handicapped Access Ramp and motorized Stairs to rear building access.
11. Mill and Repave a portion of the rear parking area.
12. Stripe the rear parking area to delineate a handicapped parking space and vehicle parking spaces.
13. The Site Plan indicates 13 parking spaces will be provided on-site. One of which will be for handicapped parking.





COLOR AERIAL EXHIBIT  
**TAX LOT 10**  
 BLOCK 42  
 FREEHOLD BOROUGH  
 MONMOUTH COUNTY, NEW JERSEY

**Geller & Sive & Company**  
 Consulting Engineers & Planners  
 Civil - Site - Transportation  
 1000 Highway 100, Suite 100  
 Freehold, NJ 07728  
 Phone: 732-422-2979  
 Fax: 732-422-2978  
 www.gscplanners.com

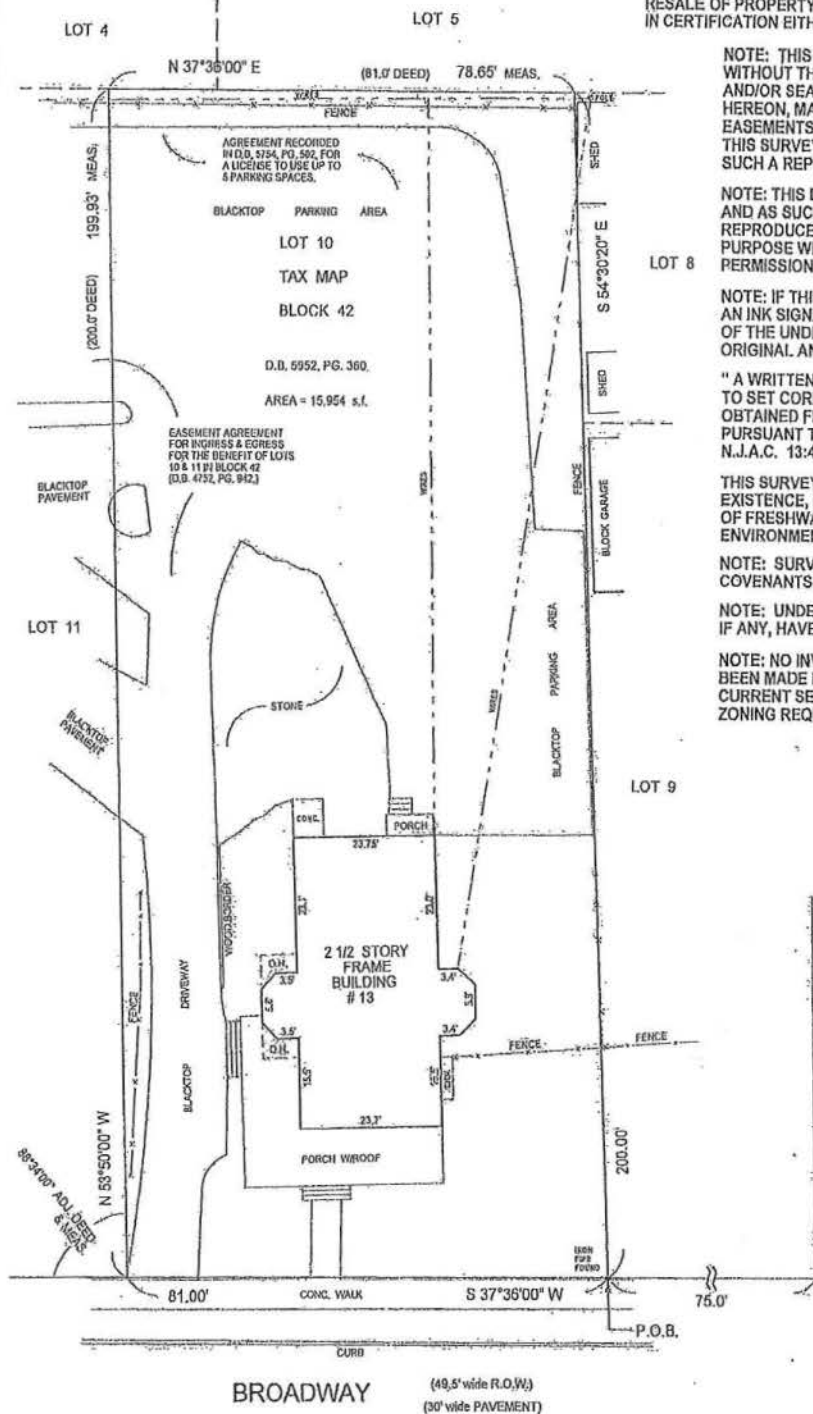
DATE	SCALE	SHEET	JOB NUMBER
10/26/2020	1"=20'	1 OF 1	2369



DATE	SCALE	SHEET	JOB NUMBER
10/26/2020	1"=20'	1 OF 1	2369



PAKIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAME PURCHASER, NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING BUT NOT LIMITED TO USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION EITHER DIRECTLY OR INDIRECTLY.



NOTE: THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF ANY TITLE REPORT AND/OR SEARCH. THE PROPERTY SHOWN HEREON, MAY BE SUBJECT TO VARIOUS EASEMENTS AND/OR "RIGHTS OF OTHERS". THIS SURVEY IS SUBJECT TO REVISIONS AS SUCH A REPORT AND/OR SEARCH MAY REVEAL.

NOTE: THIS DOCUMENT IS COPYRIGHT PROTECTED AND AS SUCH NO PORTION OF THIS WORK MAY BE REPRODUCED IN ANY FORMAT AND/OR FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE UNDERSIGNED PROFESSIONAL.

NOTE: IF THIS DOCUMENT DOES NOT CONTAIN AN INK SIGNATURE AND A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

"A WRITTEN 'WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, c.14(C45:8-36.3) and N.J.A.C. 13:40-5.1 (d)".

THIS SURVEY DOES NOT DETERMINE THE EXISTENCE, NONEXISTENCE OR LOCATION OF FRESHWATER WETLANDS OR OTHER ENVIRONMENTAL CONDITIONS.

NOTE: SURVEY SUBJECT TO EASEMENTS, COVENANTS AND RESTRICTIONS OF RECORD.

NOTE: UNDERGROUND UTILITIES, IF ANY, HAVE NOT BEEN LOCATED.

NOTE: NO INVESTIGATION HAS BEEN MADE BY THIS FIRM INTO CURRENT SETBACK AND/OR ZONING REQUIREMENTS.



SURVEY OF PROPERTY FOR: 13 BROADWAY REALTY LLC  
SITUATED IN: FREEHOLD BOROUGH, MONMOUTH COUNTY, NEW JERSEY  
PREPARED BY: THOMAS M. ERNST & ASSOCIATES, PROFESSIONAL LAND SURVEYORS, INC.  
457 SPOTSWOOD-ENGLISHTOWN ROAD P.O. BOX 221 JAMESBURG, N.J. 08831  
CERTIFICATE NUMBER 24GA27967000 PHONE (732) - 251 - 1001 FAX (732) - 251 - 9470  
DATE: MAY 27, 2020 SCALE: 1" = 20'

CERTIFIED TO: 13 BROADWAY REALTY LLC;  
WESTCOR LAND TITLE INSURANCE COMPANY;  
EAST COAST TITLE AGENCY;  
ROBERT A. BLANDA, JR., ESQUIRE;  
BLANDA & BLANDA, ESQUIRES.

*Michael S. Lynch*  
MICHAEL S. LYNCH  
PROFESSIONAL LAND SURVEYOR  
NEW JERSEY LIC. # 35382

02056630

*I hereby acknowledge the above and agree to close despite same*  
*13 Broadway Realty LLC*

By: *Mark Vayberg, Manager*

*Date*



# WESTCOR

LAND TITLE INSURANCE COMPANY

## SURVEY ENDORSEMENT (for Commitment or Policy)

File No. 02056630

Attached to and made a part of **Commitment Number: 02056630**

Exception No. 1 is removed. Exception No. 1 is removed. Notwithstanding any provision in the policy to the contrary, unless an exception is taken in Schedule B, the Policy insures against loss arising from any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title. The following matters shown on a survey made by Thomas M. Ernst & Associates, Inc., dated May 27, 2020, are added to Schedule B:

- (a) Blacktop Drive and Walkway on, along and outside the property lines
- (b) Mislocation of Fences
- (c) Blacktop Pavement on, along and outside the property lines
- (d) Easement Agreement for ingress and egress for the benefit of Lots 10 & 11 in Block 42
- (e) Agreement for a License to use up to 5 parking spaces
- (f) Mislocation of Fences
- (g) Overhead wires crossing the premises
- (h) Shed on, along and outside the property lines

None further.

This policy does not insure against errors or inaccuracies in the survey with respect to matters which do not affect title.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Dated: June 1, 2020

**Westcor Land Title Insurance Company**

*Odette A. Siggelakis*

Odette A. Siggelakis  
Authorized Officer or Agent

Issued by  
EAST COAST TITLE AGENCY  
202 ROUTE 18 NORTH  
EAST BRUNSWICK, NJ 08816-1409  
732-828-6500 Fax: 732-249-2635



By: *Mary O'Donnell*  
President  
Attest: *[Signature]*  
Secretary

*I hereby acknowledge the above and agree to close despite same*

*13 Broadway Realty LLC*

By: *Mark Vaysberg, Manager*

*Date*



Charge, Record and Return to:

MEHR & LA FRANCE, ESQUIRES  
Post Office Box 680  
Freehold, New Jersey 07728  
MEHR & LA FRANCE, ESQs,  
Recording Account No. 500

CHG ACCT 580

EASEMENT AGREEMENT

PREPARED BY:

*William J. Meher, Esq.*  
WILLIAM J. MEHER, ESQ.  
ATTY AT LAW OF  
NEW JERSEY

THIS AGREEMENT made this 30th day of April, 1987, is between 13 BROADWAY ASSOCIATES, INC., a New Jersey corporation with principal offices c/o Robert Covino, 315 Pond Road, Freehold, Monmouth County, New Jersey, and 11 BROADWAY, INC., a New Jersey corporation with principal offices c/o Robert Covino, 315 Pond Road, Freehold, Monmouth County, New Jersey, and provides as follows:

WHEREAS, 13 BROADWAY ASSOCIATES, INC. is the owner of property located at 13 Broadway, Freehold Borough, New Jersey, being also known as Block 42, Lot 10 on Sheet 14 on the Freehold Borough Tax Map; and

WHEREAS, 11 BROADWAY, INC. is the owner of property located at 11 Broadway, Freehold Borough, New Jersey, also known as Block 42, Lot 11, Sheet 14 on the current Tax Map of the Borough of Freehold; and

WHEREAS, the above mentioned properties are contiguous to each other and each presently has a driveway area off of Broadway (New Jersey State Highway Route 79) which is utilized for ingress and egress purposes to each house's parking area in the rear of each property; and

WHEREAS, 13 BROADWAY ASSOCIATES, INC. did apply to the Planning Board of the Borough of Freehold for site plan approval to convert the existing two and one-half story frame dwelling on its property to professional offices in accordance with the requirements of the Freehold Borough B-1 office/commercial zone; and

WHEREAS, pursuant to the site plan applications filed, and in order to minimize the left turning movements into and out of these properties onto Broadway, and to better control and directionalize traffic entering onto the properties of each of the parties hereto, and to better utilize the existing and proposed parking areas to the rear of each building for the common benefit of both property owners and to therefore minimize and/or eliminate any on-street parking requirements related to the use of the buildings for office

RECORDED  
MONMOUTH COUNTY  
CLERK'S OFFICE

MAY 14 1987  
JANE G. CLAYTON  
COUNTY CLERK  
FREEHOLD N.J.

DB4752-0942

Recd 5-587

and professional uses, the owners of each of said properties has represented to the Planning Board of the Borough of Freehold that they would directionalize their traffic by having the ingress from Broadway for both buildings be on Lot 10, the same being the property owned by 13 BROADWAY ASSOCIATES, INC., and the common egress from both properties be on the property of 11 BROADWAY, INC., and that there be provided a driveway link between the two properties across the common property line; and

WHEREAS, 13 BROADWAY ASSOCIATES, INC. did file an appropriate site plan map with the Freehold Borough Planning Board prepared by Victor Vinegra, P.E., P.L.S., dated January 14, 1987 and revised through February 5, 1987 pursuant to the Borough engineer's requirements which shows the above; and

WHEREAS, the Freehold Borough Planning Board at its meeting of February 25, 1987 did adopt a Resolution approving the preliminary and final site plan applications of 13 BROADWAY ASSOCIATES, INC. based on the common driveway access and egress and joinder of the two parking lots, all in accordance with the filed site plan and subject to the owners of the two properties filing a joint and reciprocal easement setting forth the terms and conditions of their agreement regarding common ingress and egress; and

WHEREAS, the officers of each of said corporations have considered the mutual benefits to be created by granting mutual and reciprocal easements regarding the common driveway and parking uses of their premises, and have agreed therefore to enter into the terms and conditions of this easement agreement by appropriate actions of their respective boards of directors:

NOW, THEREFORE, in consideration of the mutual covenants and conditions contained herein, and in further consideration of the sum of ONE (\$1.00) DOLLAR in hand paid by each party to the other, the parties do hereby agree as follows:

1. The grantors' names which are set forth above, being the owners of Block 42, Lots 10 and 11 on the Freehold Borough Tax Map, do hereby each agree to build, construct, retain and maintain a driveway area being at least twelve (12') feet in width along the

southerly property line of each of the above mentioned lots entering from Broadway on Lot 10 and exiting onto Broadway on Lot 11 for the joint and mutual benefit of each other.

2. The parties do further agree that the parking areas to the rear of each of the buildings may be used in common by the occupants and visitors to each of the buildings on each of the lots referred to above on an overflow parking basis.

3. The parties do hereby agree that there shall be constructed and built and maintained a fifteen (15') foot wide bituminous asphalt driveway between the two parcels of property linking the two parking areas at a point approximately twenty (20') feet from the rear (westerly) property line of each of the properties.

4. The parties do hereby agree that each party shall build, construct and maintain the driveway area on their own property as well as the parking area to the rear of their property for the joint and mutual benefit of themselves and the other party, and that 13 BROADWAY ASSOCIATES, INC. shall build, construct and install the fifteen (15') foot wide interconnecting driveway between the two parking areas, all as shown on the aforesaid site plan map which was filed with the Borough of Freehold, and as shall be actually constructed on the properties.

5. The parties do hereby agree thereafter that each party shall maintain in a free, clear and unobstructed manner the easements granted herein for the joint and mutual benefit of the parties.

6. The parties do further agree that in the event that the parties no longer wish to maintain the joint and reciprocal easements provided for herein for the mutual benefit of the parties, then in such event, and if the parties can agree in writing to the discontinuance of the easement, the same shall not be effective unless and until the Planning Board of the Borough of Freehold has agreed by Resolution to the elimination of this easement and the interconnecting driveway between the parking areas is actually separated by removal of the bituminous pavement, or by the installation of fencing, or some other barrier. The aforesaid approval of the owners of the properties and the Planning Board of the Borough of Freehold shall be evidenced



by a Deed or other document eliminating the easement with a copy of the appropriate approval Resolution of the Borough of Freehold Planning Board and/or Board of Adjustment, and/or other governmental authority at such time which has similar zoning and planning approval powers as are presently provided for in Title 40:55D of the New Jersey State Statutes.

IN WITNESS WHEREOF, the undersigned parties have set forth the appropriate signatures and seals of the corporate entities the day and year first above written.

Attest:

William J. Holohan  
William J. Holohan, Secretary

13 BROADWAY ASSOCIATES, INC.

By: Robert Covino  
Robert Covino, President

Attest:

William J. Holohan  
William J. Holohan, Secretary

11 BROADWAY, INC.

By: Robert Covino  
Robert Covino, President

END OF DOCUMENT

STATE OF NEW JERSEY :  
COUNTY OF MONMOUTH : S.S.

BE IT REMEMBERED, that on March 1, 1987, before me, the subscriber, a Notary Public, personally appeared WILLIAM J. HOLOHAN, who, being by me duly sworn on his oath, deposes and makes proof to my satisfaction, that he is the Secretary of 13 Broadway Associates, Inc. and 11 Broadway, Inc.; that Robert Covino is the president of both corporations named in the within document; that the execution, as well as the making of this document, has been duly authorized by proper resolutions of the boards of directors of the said corporations; that deponent well knows the corporate seal of both corporations; and that the seals affixed hereto are the proper corporate seals and were hereto affixed and said document signed and delivered by said secretary and president as and for the voluntary act and deed of said corporations, in the presence of deponent, who thereupon subscribed his name as attesting witness.

Sworn to and subscribed,  
before me this 1st day of  
April, 1987.

Theresa A. Solomon

William J. Holohan  
WILLIAM J. HOLOHAN

-4-

THHERESA A. SOLOMON DB4752-0945  
NOTARY PUBLIC OF NEW JERSEY  
MY COMMISSION EXPIRES JULY 30, 1991



320511

## AGREEMENT

ch 9-1754  
Record & Return:  
COMMONWEALTH TITLE  
64 WEST MAIN ST.  
FREEHOLD, NJ 07728  
6-35962

5

THIS AGREEMENT, made this 27th day of August, 1998 between ELEVEN BROADWAY, INC., a New Jersey corporation, (hereinafter sometimes referred to as "11 Broadway") as owner of the property located at 11 Broadway, Freehold, New Jersey and shown on the Tax Map of the Borough of Freehold as Block 42, Lot 11; 13 BROADWAY ASSOCIATES, INC., a New Jersey corporation, (hereinafter sometimes referred to as "13 Broadway") which owns property located at 13 Broadway, Freehold, New Jersey and shown on the Tax Map of the Borough of Freehold as Block 42, Lot 10; and ANTHONY CAMMALLERE and/or his assign, 23 Kilmer Drive, Morganville, New Jersey, who is the purchaser of the property located at 11 Broadway, Freehold Borough, New Jersey from 11 Broadway, Inc.;

WHEREAS, the properties owned by 11 BROADWAY and 13 BROADWAY are contiguous to each other, and presently share common ingress and egress pursuant to an Easement Agreement between the parties dated April 30, 1987 and recorded in the Clerk's Office of the County of Monmouth on May 5, 1987 in Deed Book 4752 at page 942, which Easement provides for common parking areas on both properties for their mutual benefit on an overflow parking basis as well as cross access, ingress and egress; and

WHEREAS, 11 BROADWAY also entered into a separate Easement Agreement with Gertrude K. Saker, the owner of Block 42, Lot 12 in the Borough of Freehold, County of Monmouth and State of New Jersey on October 10, 1992 which Easement was recorded in the Clerk's Office of the County of Monmouth on November 4, 1992 in Deed Book 5177 at page 647; and

WHEREAS, said Saker Easement provides for the use of the driveway on 11 Broadway for common egress between 11 Broadway and Gertrude Saker's property located at 9 Broadway subject to the duty of said Gertrude Saker, her successors, assigns and transferees to maintain the common driveway, including the re-paving and/or resealing of the same as may from time to time be required and as set forth in the recorded Easement; and

WHEREAS, ANTHONY CAMMALLERE is now purchasing the property known as 11 Broadway (Block 42, Lot 11 on the Freehold Borough Tax Map) from ELEVEN BROADWAY, INC. and has requested the dedication of certain parking spaces located at 13 Broadway for the use and or benefit of the owner of 11 Broadway; and

WHEREAS, 13 BROADWAY ASSOCIATES, INC. has agreed to grant the owner of 11 Broadway a license to use up to five (5) parking spaces on the property known as 13 Broadway in consideration for ANTHONY CAMMALLERE constructing an additional five (5) parking spaces on the property known as 13 Broadway at the said ANTHONY CAMMALLERE's sole cost and expense;

NOW, THEREFORE, in consideration of the mutual covenants and conditions contained herein, the parties hereby agree as follows:

1. The parties hereto do hereby ratify and reconfirm, as their interests may appear, the terms and conditions of the two recorded Easements referred to above and the terms and conditions contained therein.

2. 11 BROADWAY, INC. and 13 BROADWAY ASSOCIATES, INC. do hereby grant to ANTHONY CAMMALLERE, his successors, transferees and assigns a license to utilize the five (5) existing parking spaces currently located on the northwest corner of 13 Broadway (Block 42, Lot 10 on the Freehold Borough Tax Map) as shown on the survey of Block 42, Lot 11 attached hereto as "Area Subject to Parking License".

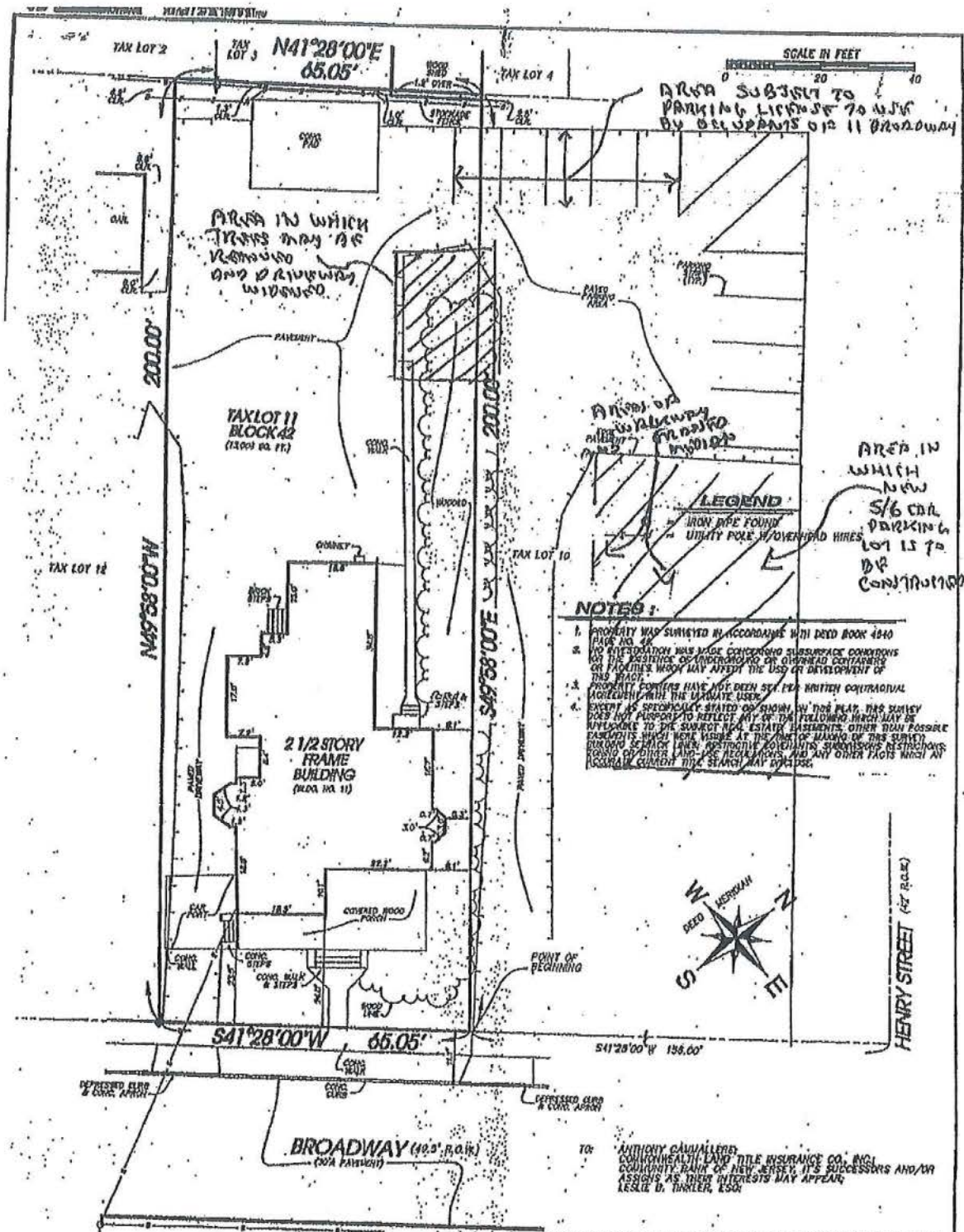
3. In consideration of the grant set forth above, and as a pre-condition to its effectiveness, ANTHONY CAMMALLERE shall construct on the property of 13 BROADWAY ASSOCIATES, INC. within the existing grassed area shown on the attached map as "Area in

DB

5754-582

Recd 10/2/98





MAP OF SURVEY  
TAX LOT 11 BLOCK 42  
BOROUGH OF FREEHOLD  
MONMOUTH COUNTY, NEW JERSEY

This is to certify that this survey is accurate and that this drawing is a true representation of actual conditions existing on the property, except such omissions, if any that may be located below the surface of the land, or on the surface of the land and not visible. This certification is made only in connection with the purchase and/or mortgage of herein delineated property. No responsibility or liability is assumed by Surveyor for use of survey for any other purpose including, but not limited to, use of survey for survey, affidavit, record of property or to any other person not named in certification, either directly or indirectly.

**GRAVATT  
GELLER  
& ASSOCIATES**

Consulting Engineers Surveyors Planners

100 South Third  
Freehold, NJ 07728-0100  
(732) 841-1111  
1014 South Road  
Freehold, NJ 07728-1007  
(732) 841-1111

SCALE: 1" = 20'  
DATE: JULY 22, 1998  
DRAWN BY: J.S.D.C.  
CHECKED BY: J.A.  
SHEET NO. 1 OF 1  
PROJECT NUMBER  
F0264

No. DATE REVISION BY CHK.  
7/28/98  
ONE  
DATE



which proposed 5/6 car parking lot is to be constructed" five (5) to six (6) parking spaces as site conditions permit, at the sole cost and expense of ANTHONY CAMMALLERE. Said area for parking spaces shall be cleared and the appropriate parking lot sub-base materials shall be installed and final pavement added and striped to the same quality as the existing adjoining parking area. As part of the construction, the existing walkway to the rear of 13 Broadway shall remain; and a grass median along the driveway on the northwest side of the building shall remain.

4. In addition to the above, as part of the conditions of this Agreement between the parties, ELEVEN BROADWAY, INC. and 13 BROADWAY ASSOCIATES, INC. do hereby grant to ANTHONY CAMMALLERE the right to remove trees within an area shown on the attached sketch as "area in which trees may be removed" which area may then either be grassed, landscaped or paved over by ANTHONY CAMMALLERE to enhance the cross access between the properties.

5. Upon completion of the renovations provided for herein, and the closing of title to the property between ELEVEN BROADWAY, INC. and ANTHONY CAMMALLERE, the parties hereby agree that thereafter ANTHONY CAMMALLERE, his successors, transferees and/or assigns shall be responsible for the maintenance of the driveways and parking areas on Block 42, Lot 11, as well as the area of the cross access driveway between Lot 11 and Lot 10, and the five (5) parking spaces area on which the license to utilize for parking purposes has been granted by 13 BROADWAY ASSOCIATES, INC., by this Agreement.

6. 13 BROADWAY ASSOCIATES, INC. shall be responsible for the maintenance of all parking and driveway facilities located on Block 42, Lot 10 including the newly created parking area and the common usage entrance driveway from Broadway, except for the five (5) parking spaces to which a license has been granted to ANTHONY CAMMALLERE, his transferees, successors and assigns, and the connecting driveway between the two properties referred to above. The parties do hereby agree that this Agreement is to be read in pari materia with the prior joint and reciprocal easement between ELEVEN BROADWAY, INC. and 13 BROADWAY ASSOCIATES, INC. recorded in 1987, referred to above, which agreement is ratified and reconfirmed, except for any specific contrary agreements agreed to by the parties herein.

IN WITNESS WHEREOF, the undersigned parties have set their appropriate hand and seals the day and year first above written,

ELEVEN BROADWAY, INC.

Attest:

By:

ROBERT COVINO, PRES.

William Holohan  
William Holohan, Secy

13 BROADWAY ASSOCIATES, INC.

Attest:

By:

Robert Covino, President

William Holohan  
William Holohan, Secretary

CLERK'S OFFICE  
HONOLULU COUNTY  
NEW JERSEY

INSTRUMENT NUMBER  
1998141398

RECORDED ON

OCT-02, 1998

3:32:55 PM

BOOK: DB-5754

PAGE: 582

Total Pages: 5

COUNTY RECORDING

FEES \$21.00

DEDICATED TRUST

FUND COMMISSION \$2.00

TOTAL \$23.00

  
ANTHONY CAMMALLERE

STATE OF NEW JERSEY, COUNTY OF MONMOUTH

I CERTIFY that on August 27, 1998, William Holohan personally came before me and this person acknowledged under oath, to my satisfaction, that:

(a) this person is the Secretary of ELEVEN BROADWAY, INC., the corporation named in the attached document;

(b) this person is the attesting witness to the signing of this document by the proper corporate officer who is Robert Covino, the President of the corporation;

(c) this document was signed and delivered by the corporation as its voluntary act duly authorized by a proper resolution of its Board of Directors;

(d) this person knows the proper seal of the corporation which was affixed to this document; and

(e) this person signed this proof to attest to the truth of these facts.

  
William Holohan, Secretary

Signed and sworn to before  
me on August 27, 1998.

  
WILLIAM J. MEHR  
Attorney at Law State of New Jersey

STATE OF NEW JERSEY, COUNTY OF MONMOUTH

I CERTIFY that on August 27, 1998, William Holohan personally came before me and this person acknowledged under oath, to my satisfaction, that:

(a) this person is the Secretary of 13 BROADWAY ASSOCIATES, INC., the corporation named in the attached document;

(b) this person is the attesting witness to the signing of this document by the proper corporate officer who is Robert Covino, the President of the corporation;

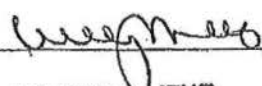
(c) this document was signed and delivered by the corporation as its voluntary act duly authorized by a proper resolution of its Board of Directors;

(d) this person knows the proper seal of the corporation which was affixed to this document; and

(e) this person signed this proof to attest to the truth of these facts.

  
William Holohan, Secretary

Signed and sworn to before  
me on August 27, 1998.

  
WILLIAM J. MEHR  
Attorney at Law State of New Jersey



Boro of Freehold  
51 West Main Street  
Freehold, NJ 07728  
(732) 462-4903



Date Issued 8/11/20  
Control #  
Permit # 20-0279

## CONSTRUCTION PERMIT NOTICE

Block 42 Lot 10

Work Site Location: 13 Broadway

### AUTHORIZED FOR:

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL      |
| <input type="checkbox"/> PLUMBING            | <input type="checkbox"/> FIRE PROTECTION |
| <input type="checkbox"/> ELEVATOR DEVICES    |  |
| <input type="checkbox"/> OTHER _____         |  |

Description of Work: Basement Alterations As Per Plan

This notice shall be posted conspicuously at the work site and shall remain so until issuance of a certificate.



Borough of Freehold  
51 West Main St.  
Freehold, NJ 07728



# CONSTRUCTION PERMIT

Date Issued: 8/11/20

Permit #: 20-0277

## IDENTIFICATION

**Work Site Location:**  
13 BROADWAY  
Freehold, NJ 07728

Block/Lot: 42/10

Qualification Code:

Contractor: NJ ELITE CONCRETE LLC

Address:  
P.O. BOX 383  
SOUTH RIVER NJ 08882  
Tel. (908) 937-7175  
License # or Builders Registration #:

Owner in Fee: 13 Broadway LLC  
Address:  
33 Ferry Street  
South River, NJ 08882  
Tel. 732-310-0747

Is hereby granted permission to perform the following work:

- |  |  |  |
|--|--|--|
| <input checked="" type="checkbox"/> Building | <input type="checkbox"/> Plumbing                                  | <input type="checkbox"/> Lead Hazard Abatement |
| <input type="checkbox"/> Electrical          | <input type="checkbox"/> Fire Protection                           | <input type="checkbox"/> Demolition            |
| <input type="checkbox"/> Elevator Devices    | <input type="checkbox"/> Asbestos Abatement<br>(subchapter 8 only) | <input type="checkbox"/> Other                 |

Description of work:

BASEMENT ALTERATIONS AS PER PLAN

**Note: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.**  
Estimated Cost of Work: \$ 6,500.00

  
Construction Official

8/7/20  
Date

## PAYMENTS

Building	215.00
Electrical	0.00
Plumbing	0.00
Fire Protection	0.00
Elevator	0.00
Other	0.00
DCA State Permit Fee	12.00
Cert. of Occupancy	0.00
Other	0.00
Credit	0.00
<b>Total</b>	<b>227.00</b>
<b>Amount Paid</b>	<b>0.00</b>

Check # 1013-0  
Cash \_\_\_\_\_  
Collected By JB



**Borough of Freehold**  
51 West Main St.  
Freehold, NJ 07728  
**BUILDING SUBCODE**  
**TECHNICAL SECTION**



**A. IDENTIFICATION-APPLICANT:** COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO 1-800-272-1000.

Block/Lot: 42/10 \_\_\_\_\_ Qualification Code: \_\_\_\_\_

Work Site Location: 13 BROADWAY Freehold, NJ 07728

Owner in Fee: 13 Broadway LLC

Tel. 732-310-0747

Address 13 BROADWAY Freehold, NJ 07728

Contractor: NJ ELITE CONCRETE LLC \_\_\_\_\_ Tel. (908) 937-7175

Address: P.O. BOX 383 \_\_\_\_\_ e-mail \_\_\_\_\_

Contractor License No. or Builder Registration No. Exp. Date \_\_\_\_\_

Home Improvement Contractor Registration No. or Exemption Reason (if applicable): \_\_\_\_\_

Federal Emp. ID No. 842616084 FAX: \_\_\_\_\_

**JOB SUMMARY (Office Use Only)**

Plan Review	Date	Initial	INSPECTIONS	Dates	(Month/ Day)
<input type="checkbox"/> No Plans Required			Type	Failure	Approval
<input type="checkbox"/> All			Footings	Failure	Initial
<input type="checkbox"/> Footing			Footings Bonding		
<input type="checkbox"/> Foundation			Slab		
<input type="checkbox"/> Frame			Frame		
<input type="checkbox"/> Other			Truss Sys./Bracing		
			Barrier-Free		
Joint Plan Review Required:			Insulation		
<input type="checkbox"/> Elec. <input type="checkbox"/> Plumb. <input type="checkbox"/> Fire <input type="checkbox"/> Elevator			Finishes - Base Layer		
			Finishes - Final		
SUBCODE APPROVED for PERMIT:			Energy		
Date: _____			Mechanical		
Approved By: _____			T&O		
			Other		
SUBCODE APPROVAL for CERTIFICATE			Final		
<input type="checkbox"/> CO <input type="checkbox"/> CCO <input type="checkbox"/> CA			Barrier-Free		
Date: _____					
Approved By: _____					

**B. BUILDING CHARACTERISTICS**

Use Group Present: B Proposed: B

Height of Structure: ft. \_\_\_\_\_

Area - Largest Floor: sq. ft. \_\_\_\_\_

New Bldg. Area All Floors: sq. ft. \_\_\_\_\_

Volume of New Structure: cu. ft. \_\_\_\_\_

Max. Live Load: \_\_\_\_\_

Max. Occupancy Load: \_\_\_\_\_

Constr. Class Present: \_\_\_\_\_ Proposed: \_\_\_\_\_

If Industrialized Building: \_\_\_\_\_

State Approved: \_\_\_\_\_ HUD: \_\_\_\_\_

Est. Cost of Bldg. Work: \_\_\_\_\_

1. New Bldg.	\$0.00
2. Rehabilitation	\$6,500.00
3. Total (1 + 2)	\$6,500.00
4. Other	

U.C.C. F110 (rev. 11/09) \_\_\_\_\_  
Internet Version \_\_\_\_\_

Date Received: 07/24/2020  
Control #: 20-000798

Date Issued: \_\_\_\_\_  
Permit #: \_\_\_\_\_

**C. CERTIFICATION IN LIEU OF OATH**

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

Sign here: \_\_\_\_\_

Print name here: \_\_\_\_\_

**D. TECHNICAL SITE DATA**

DESCRIPTION OF WORK  
BASEMENT ALTERATIONS AS PER PLAN

TYPE OF WORK	FEE (Official Use Only)
New Building	0.00
Addition	0.00
Rehabilitation	215.00
Roofing	0.00
Siding	0.00
Fence Height (exceeds 6")	0.00
Sign Sq. Ft.	0.00
Pool	0.00
Retaining Wall Sq. Ft.	0.00
Asbestos Subchapter 8	0.00
Lead Haz. Abatement NJAC 5:17	0.00
Radon Remediation	0.00
Other	0.00
Demolition	0.00

Administrative Surcharge	\$0.00
Minimum Fee	\$0.00
State Permit Surcharge Fee	\$12.00
<b>TOTAL FEE</b>	<b>\$227.00</b>

Check # 1013-0  
Cash \_\_\_\_\_  
Collected By 712

Applicant: when submitting this from to your Local Construction Code Enforcement Office, please provide one original plus three photocopies.

**Freehold Borough Historic Preservation Commission**  
**Project Design Review Application for a Certificate of Appropriateness**

1. **Property Information:** Address: 13 BROADWAY Block: 42 Lot: 10

Historic Name (if Known): Realty LLC - Broadway Family Healthcare

Owner's name: MARK VANSBERG

Address: 33 FERRY ST.

City: SOUTH RIVER State: NJ Zip: 08852

Email: vmark@optonline.net Phone: 184845944 Fax: \_\_\_\_\_

Year built (If Known): \_\_\_\_\_ Architectural style (If Known): \_\_\_\_\_

a. Type of Building: ☒ Commercial ☐ Industrial ☐ Religious  
☐ Residential ☐ Public  
☐ Mixed Use (state types) \_\_\_\_\_

b. Is this a multi-tenant building? ☐ If yes, How many? \_\_\_\_\_

c. What are the existing uses of the property? (Types of businesses) OFFICE

d. What was the original use of the property? RESIDENTIAL R-5

e. Is the property listed on any of the following:

☐ Monmouth County Historic Registry ☐ State Register of Historic Sites  
☐ National Register of Historic Places

If yes have the reports from registry been requested? ☐ Yes ☐ No. If no please request.

f. Have or will any public incentive programs including tax abatement programs, grant programs, loan programs, or other public funding be used in the financing of this project? ☐ Yes ☐ No;

If yes please list in detail: \_\_\_\_\_

g. Are you applying to the following Freehold Borough Boards for approvals or Permits?

☐ Redevelopment Authority ☒ Unified Land Use Board (Specify) ZONING  
☐ Governing Body ☐ Zoning/Construction ☐ Business Operating Licenses

Please refer to the following ordinances and reference materials for details concerning design guidelines. The *Freehold Borough Sign Ordinance* at Chapter 15.16; the *Freehold Center Core Redevelopment Plan*, and the *Freehold Borough Historic Preservation Commission Ordinance* at Chapter 2.114; *Color chart*; and *Font List*.



2. Applicant Information: Name: MARK VANSBEEK Company: 9 KWINTZ REALTY LLC  
(Circle one below)

Owner

Address: 33 FERRY ST

Tenant

City: SOUTH RIVER State: NJ Zip Code: 08862

Email: vmark@optonline.net Phone: 846459946 Fax: \_\_\_\_\_

3. Contractor Information: Name: \_\_\_\_\_ Company: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Email: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

4. Architect Information: Name: GREG CLARK Company: BALLET CLARK LLC

Address: 10 ZELLERS RD

City: LAUREL VILLAGE State: NJ Zip Code: 07653

Email: hach-clark@verizon.net Phone: 7329670215 Fax: \_\_\_\_\_

5. Engineer Information: Name: \_\_\_\_\_ Company: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Email: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

6. Sign maker Information: Name: \_\_\_\_\_ Company: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Email: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

7. Project Information; Type of work to be done: (Check all that apply)

<input type="checkbox"/> Repairs	<input type="checkbox"/> Sidewalks	<input checked="" type="checkbox"/> ADA Compliance	<input type="checkbox"/> Fence or Enclosures	<input type="checkbox"/> Windows or Doors
<input type="checkbox"/> Replacement	<input checked="" type="checkbox"/> Siding	<input type="checkbox"/> Masonry	<input type="checkbox"/> Foundation	<input type="checkbox"/> Deck
<input type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Painting	<input checked="" type="checkbox"/> Roof/soffits/fascia	<input type="checkbox"/> Lighting	<input type="checkbox"/> Storefront
<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Porch	<input type="checkbox"/> Gutters/drainage	<input type="checkbox"/> Awning/Canopy	<input type="checkbox"/> Molding & Detail
<input type="checkbox"/> Sign(s)	<input type="checkbox"/> Patio	<input type="checkbox"/> HVAC equipment	<input type="checkbox"/> Cornice/Trim	<input type="checkbox"/> Shutters
<input type="checkbox"/> Street/landscape	<input type="checkbox"/> Chimney(s)	<input type="checkbox"/> Steps/Railings	<input type="checkbox"/> Driveway/curbing	<input type="checkbox"/> OTHER

Please list additional repairs if not checked above: \_\_\_\_\_

a. Describe the past, (Extent Known), current, and proposed use of the property:

ORIGINALLY BUILT AS RESIDENCE (R-S)

CURRENTLY ZONED "B" BUSINESS USE

b. Describe the proposed scope of the work for each item checked above:

NEW ADD RAMP - REAR ENTRY

NEW STAIR - REAR ENTRY

NEW ROOF DORMER - NORTH ELEVATION

c. Describe the existing condition of any existing features or materials expected to be removed or replaced:

REMOVE EXIST. REAR ENTRY STAIR

d. Describe how existing details, features, and/or materials will be restored:

REPAIR/REPLACE EXISTING VINYL

SIDING AS REQUIRED.

REPAINT EXISTING WINDOWS & TRIM

e. List in detail all construction materials to be used in the project; include brand names, model numbers, colors, etc.

GAF TIMBERLINE ROOFING

5" DIMENSION VINYL LAP SIDING

TREATED WOOD / PVC DECK / RAIL SYSTEM



1324092973 p.0

## PROJECT REVIEW CHECKLIST AND SUPPLEMENTAL APPLICATION MATERIALS

A complete application must include the following items attached to this form. Applications without the following information will be deemed incomplete and will not be scheduled for review. Attach additional pages if necessary. Please return 15 color copies of the application packet and support materials to the Historic Preservation Commission office at 51 W. Main Street.

### **A. For Site plans, Subdivisions, and Variances If Required:**

- ☒ 1. Full size set of site plans or survey, if required.
- ☒ 2. Full size set of architectural elevation plans, if required.
- ☒ 3. Color photos of the building and adjoining buildings. (all sides of building)
- ☒ 4. Proposed building elevations; min 1/8" = 1'
- ☐ 5. 8 1/2 x 11 color rendering of building elevations.
- ☐ 6. Samples and support material for the materials to be used (Recommended).

### **B. For Building permits:**

- ☐ 1. Construction Department submissions
- ☐ 2. Color photos of the building and adjoining buildings. (All sides of building)
- ☐ 3. A colored side by side drawing/rendering of the proposed changes and current condition.
- ☐ 4. Samples and support material for the materials to be used (Recommended).

### **C. For Signage, Awnings, and Canopies:**

- ☐ 1. A Scaled drawing of the proposed sign(s). (8 1/2" x 11" shop drawing that clearly indicates all dimensions and total square feet.)
- ☐ 2. A drawing/ rendering of the proposed sign(s) and current sign condition.
- ☐ 3. Color photos of the building and adjoining buildings, including different angles and all sides of buildings.
- ☐ 4. Samples and support material for the materials to be used. (Recommended).

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### **D. SUPPLEMENTAL SUBMISSIONS:** (Although not required, these are of great help to the Commission and are appreciated)

- ☐ 1. Available historic photographs or drawing of the building from local resources.
- ☒ 2. Existing professional consultation reports, surveys, etc.
- ☐ 3. Any additional information that you think will help the commission.

*I affirm that I am the owner of the above listed property or the authorized agent of the owner of the property and certify that the information entered is both correct and true to the best of my knowledge.*

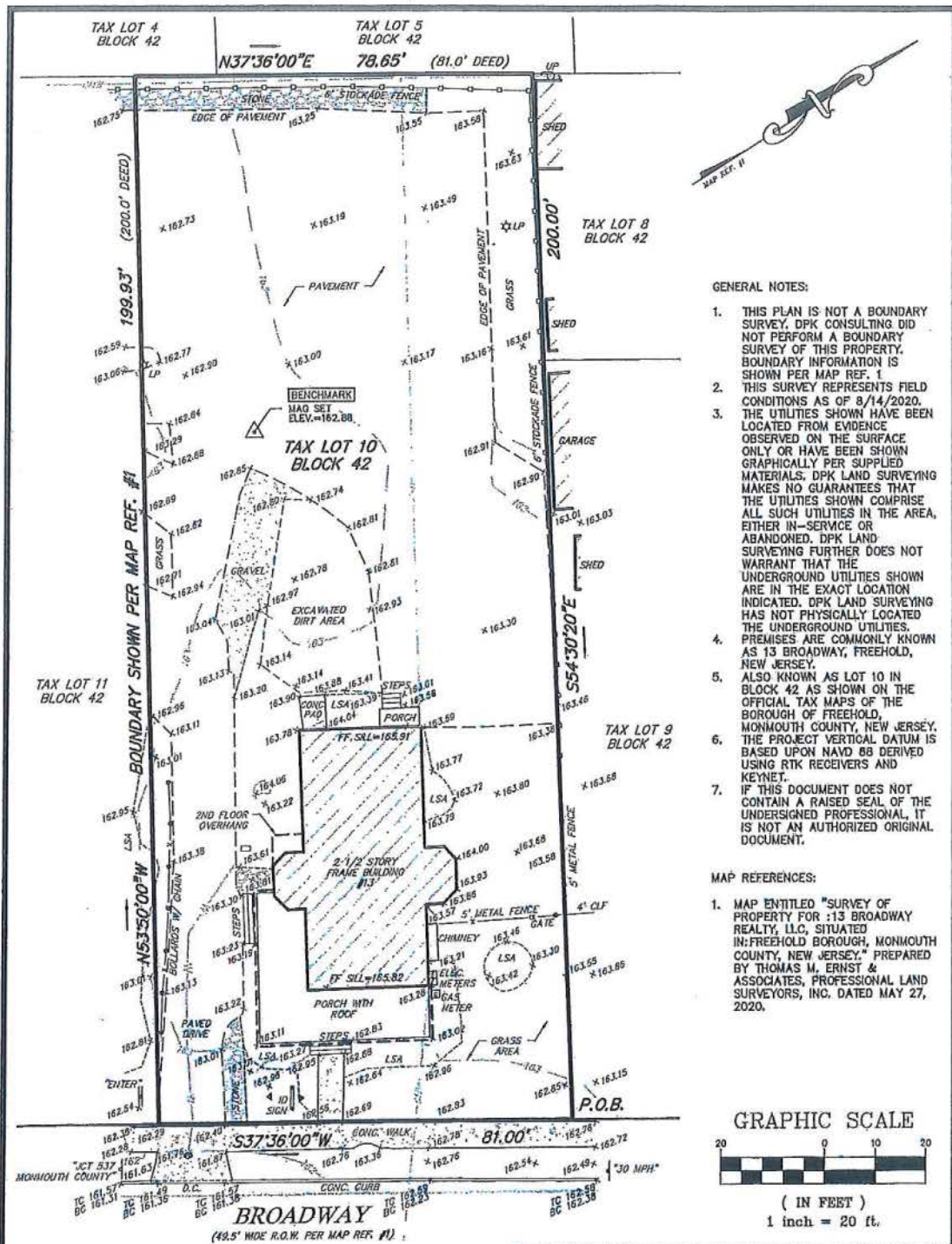
Signature: \_\_\_\_\_

Date: 10/19/20

Printed Name: Gregory L. Lantz







**DPK CONSULTING**  
 DPK CONSULTING, LLC  
 235 OLD NEW BRUNSWICK RD. STE. 201, PISCATAWAY, NJ 08854  
 P.O. BOX 4188 PISCATAWAY, NJ 08854  
 NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 243A0041220

**James J. Heiser**  
 Professional Land Surveyor  
 JHEISER@DPKCONSULTING.NET

N.J. Lic: 24GS0431100  
 PA. Lic: SU075816  
 N.Y. Lic: 050932-1  
 CT. Lic: 70476

DATE 3/31/2020

**TOPOGRAPHIC SURVEY**

**TAX LOT 10**

**BLOCK 42**

**13 BROADWAY**

**BOROUGH OF FREEHOLD**

**MONMOUTH COUNTY, NEW JERSEY**

REV	DATE	DESCRIPTION	BY	CHKD
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1	08/31/2020	REVISED PER CLIENT	BIF	J.H.
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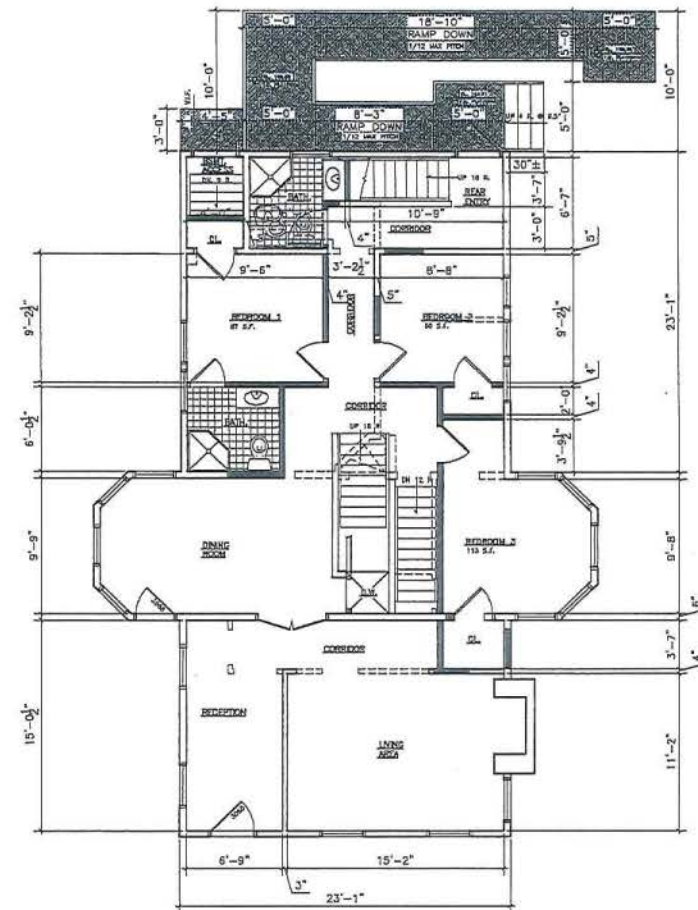
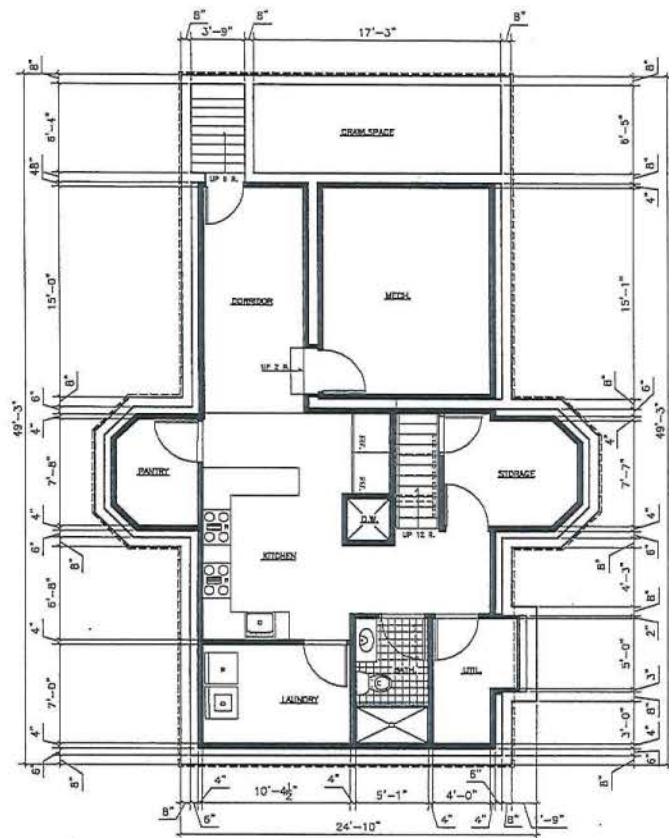
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Drawing File:  
 20-8896TP01





DESIGN LOADS	L.L.	D.L.	T.L.	AREA COMPUTATIONS	AREA (S.F.)	AREA (C.F.)
2ND FLOOR	70 PSF	20 PSF	90 PSF	FIRST LEVEL	1,221 S.F.	9,768 C.F.
ATTIC	70 PSF	20 PSF	90 PSF	SECOND LEVEL	1,157 S.F.	9,256 C.F.
ROOF	30 PSF	20 PSF	50 PSF	ATTIC	460 S.F.	3,447 C.F.
BASEMENT	SLAB ON GRADE			BASEMENT (HABITABLE)	920 S.F.	7,360 C.F.
				COMBINED AREA (S.F.)	3,758 S.F.	29,831 C.F.

BUILDING DATA		WALL SYMBOLS	
USE GROUP	R-4	--- DIST. WALLS TO BE REMOVED	
CONSTRUCTION TYPE	5B	--- DIST. WALLS TO REMAIN - NEW FILL AS NOTED	
		--- NEW FILL - 2 x 4 @ 16" O.C.	
		--- NEW CONCR. BLOCK WALLS - 16" O.C. @ 16"	

**BACH + CLARK, I.L.C.**  
 ARCHITECTURE  
 10000 Peachtree Road, Suite 100, Atlanta, GA 30339  
 PHONE: 404.487.1000  
 FAX: 404.487.1001  
 WWW.BACHCLARK.COM

PROJECT: OFFICE PLAN ALTERATIONS  
 CLIENT: REAL ESTATE INVESTMENTS INC.  
 LOCATION: 13 BROADWAY  
 FRESHFIELD, N.J. 07728

REVISIONS

SCALE: AS NOTED  
 DATE: 07-20-20  
 DRAWN BY: [Signature]  
 PROJECT: [Signature]

SHEET NO. **A-1**



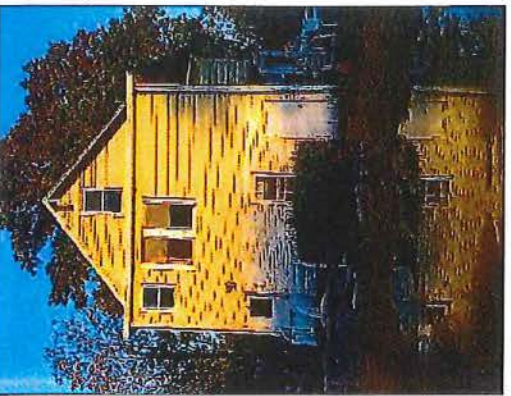




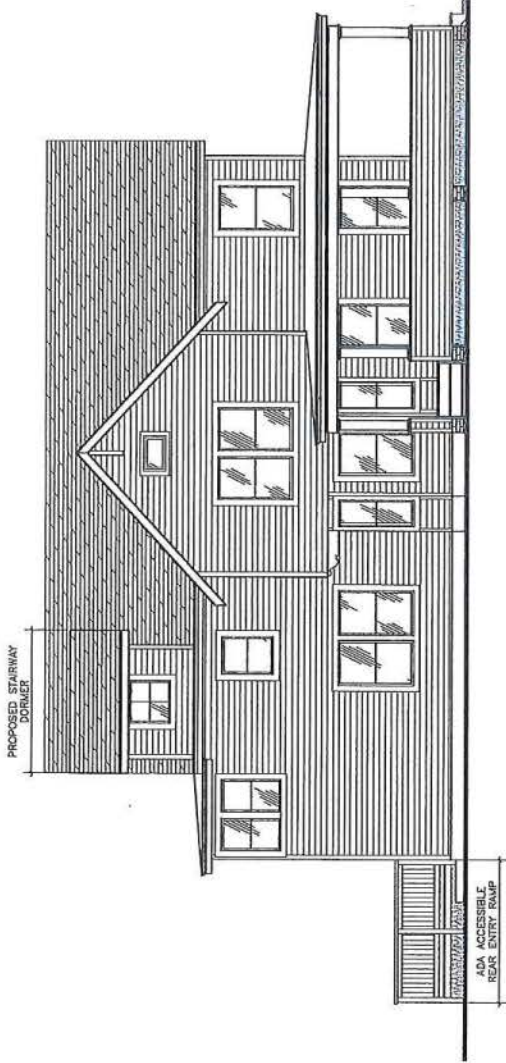
**EXISTING SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



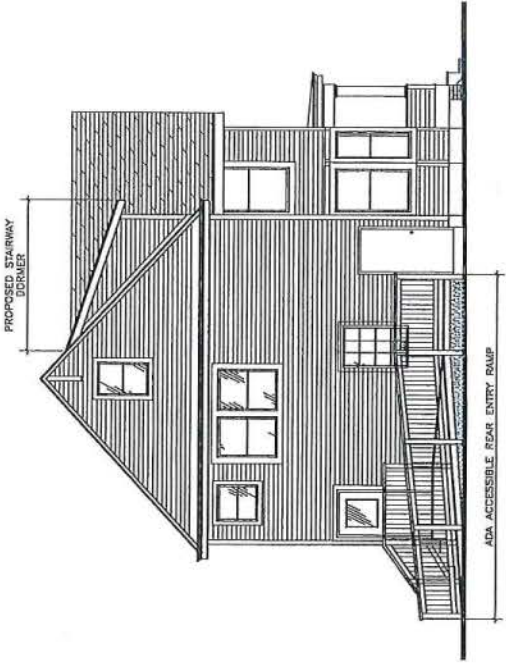
**EXISTING SOUTHEAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**PROPOSED SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**PROPOSED WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



RESOLUTION OF THE HISTORIC PRESERVATION ADVISORY COMMISSION

RE: 13 Broadway Realty, LLC (APPLICANT)  
13 Broadway (PROPERTY ADDRESS)

WHEREAS, 13 Broadway Realty, LLC has applied to the  
 Historic Preservation Commission (HPC) for approval to/for \_\_\_\_\_

Exterior Alteration to Building  
Dormer, Handicap Ramp, Roof & Siding Repairs  
 on property located at 13 Broadway

WHEREAS, the HPC has reviewed the application and the relevant documents, and has determined that the proposal does/does not have a negative impact on the architectural or historic significance of the property or the historic district, and is/is not consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties, United States Department of the Interior, Washington D.C., as amended and supplemented; and

WHEREAS, a hearing was held on Oct. 26, 2020, and based upon the testimony of Greg Clark - Architect for Applicant, and a review of the evidence, which has been marked as:

A-1: \_\_\_\_\_;  
 A-2: \_\_\_\_\_;  
 A-3: \_\_\_\_\_;  
 A-4: \_\_\_\_\_;

the HPC has determined that the application may be approved/denied.

NOW, THEREFORE, BE IT RESOLVED, that the within application is hereby approved/denied, with the following recommendations:

- Paint or Replace Siding to Match in color
- White Aluminum Railing for Ramp
- White lattice
- Must Come back to Commission for window Replacement if Needed.



BE IT FURTHER RESOLVED that the approval is subject to the following conditions:

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CHAIRMAN: \_\_\_\_\_

Motion by: Brianne Kozlowski Seconded by: Emily Conley

Ayes: 6 Nays: 0 Absent: \_\_\_\_\_ Abstain: \_\_\_\_\_

\* Note: Greg Clark stepped down to  
present Application.

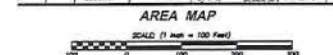
LINE#	ITEM#	DESCRIPTION	UNIT	QTY	PRICE	TOTAL
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11	2	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
12	3	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
13	4	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
14	5	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
15	6	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
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23	14	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
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53	44	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
54	45	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
55	46	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
56	47	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
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59	50	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
60	51	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
61	52	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
62	53	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
63	54	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
64	55	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
65	56	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
66	57	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
67	58	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
68	59	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
69	60	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
70	61	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
71	62	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
72	63	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
73	64	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
74	65	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
75	66	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
76	67	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
77	68	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
78	69	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
79	70	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
80	71	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
81	72	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
82	73	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
83	74	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
84	75	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
85	76	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
86	77	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
87	78	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
88	79	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
89	80	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
90	81	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
91	82	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
92	83	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
93	84	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
94	85	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
95	86	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
96	87	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
97	88	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
98	89	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00
99	90	100% COTTON T-SHIRT (L/XL) (100% COTTON)	PC	1	10.00	10.00
100	91	100% COTTON T-SHIRT (S/M) (100% COTTON)	PC	1	10.00	10.00

[illegible]

Key	Botanical Name	Common Name	Qty.	Size	Notes	Type
16	<i>Myrica pensylvanica</i>	Bayberry	18	38" HT.	CONTAINER, FULL	EVERGREEN SHrub

	REQUIRED	FESTING	PROPOSED
HIGHWAY	6,000 S.F.	18,934 S.F.	18,934 S.F.
LOT AREA	80 FT.	80.7 FT.	80.7 FT.
FRONT SETBACK			
TO NORTH	20 FT.	15.0 FT. *	15.0 FT.
TO WEST	20 FT.	124.8 FT.	124.8 FT.
REAR SETBACK	8 FT.	20.2 FT.	20.2 FT.
SIDE SETBACK			
ACCESSORY BUILDING			
REAR SETBACK	3 FT.	N/A	N/A
SIDE SETBACK	3 FT.	N/A	N/A
WALLS:			
LOT COVERAGE	40%	74% ±	74% ±
BUILDING HEIGHT	3 ST.	30.4 FT. ±	30.4 FT. ±
	(3 STORY)	(3 STORY)	(3 STORY)

\* EXISTING NON-CONFORMITY  
\*\* RIDGE HEIGHT



SECTION 18.36.020	WHICH DOES NOT SPECIFICALLY LIST A GROUND COVERED PORCH AS A PERMITTED USE.
SECTION 18.36.050	WHICH REQUIRES A PRINCIPAL BUILDING WITHIN THE B-1 ZONE TO HAVE A MINIMUM FRONT SETBACK OF 20 FEET; WHEREAS THE EXISTING BUILDING HAS A FRONT SETBACK OF 15 FEET TO THE FRONT COVERED PORCH.
SECTION 18.36.050	WHICH REQUIRES A LOT WITHIN THE B-1 ZONE TO HAVE A MAXIMUM LOT COVERAGE OF 40%; WHEREAS THE EXISTING LOT HAS A LOT COVERAGE OF 38%.

DATE \_\_\_\_\_ CHAIRPERSON \_\_\_\_\_  
ATTEST \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE \_\_\_\_\_ BOROUGH ENGINEER  
WILLIAM F. WENTZEN, P.E.  
NEW JERSEY LICENSE NO. 27799

EXISTING IMPRUVEMENTS

DWELLING & COVERED PORCH	= 1,824 SQUARE FEET
PAVED & GRAVEL DRIVEWAY	= 8,167 SQUARE FEET
WALKWAYS, PORCHES & STEPS	= 176 SQUARE FEET
TOTAL	= 11,769 SQUARE FEET

PROPOSED IMPRUVEMENTS

EX. DWELLING	= 1,824 SQUARE FEET
EX. PAVED & GRAVEL DRIVEWAY	= 8,015 SQUARE FEET
EX. WALKWAYS, PORCHES & STEPS	= 176 SQUARE FEET
PROSP. HANDICAP RAMP	= 12 SQUARE FEET
TOTAL	= 11,769 SQUARE FEET

SECTION 16.24.030.A.13 WHICH RESTRICTS PARKING WITHIN THE FRONT AND SIDE YARD AREAS; WHEREAS THE EXISTING PARKING IS WITHIN THE SIDE YARDS.

SECTION 16.24.030.A.15 WHICH REQUIRES ALL PARKING SPACES SHALL BE PROVIDED WITH CURBING OR THE

[illegible]

SCALE: (1 inch = 100 Feet)

GENERAL NOTES

[illegible]

13 BROADWAY  
FREEHOLD BOROUGH  
MONMOUTH COUNTY, NEW JERSEY

**Geller  
Sive &  
Company** Consulting Engineers & Planners  
Civil • Site • Transportation  
Traffic • Municipal

Office Location: 956 Adelphi Road, Adelphi, NJ 07710  
Mailing Address: P.O. Box 389, Adelphi, NJ 07710  
Phone: 732-625-7919  
www.gellersive.com

Certificate of Incorporation No. 262CA3800231

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<b>ROBERT SIVE</b>		DATE		
N.J. Professional Engineer No. 43816				
DESIGNED BY: CS	DATE	SCALE	SHEET	JOB NUMBER
CHECKED BY: CS	9/11/2020	1" = 10'	1 OF 2	2969
CHECKED BY: GC				







## **1. Executive Summary**

Our residential health care facility, Broadway Family Health Care, is a non – medical home care facility in a private residence for the elderly who may be adults or seniors and can't take proper care of themselves if left to live alone. The facility will be staffed with one licensed home health administrator 24 hours a day, 7 days a week. The home care staff will alternate shifts to ensure full coverage from 8 AM to 6 PM. The home health care administrator will be on premises 24 hours per day, 7 days a week and will be available to provide care and services but not necessarily awake during normal sleeping hours 10 PM to 6 AM.

To ensure full coverage additional home care staff will be tasked with various duties ranging from meal preparation, housekeeping services, assisting residents with medication and scheduling, etc. It is important to state that residents of non – medical home care facilities are people who don't have need for medical care; it is designed for adults and the elderly. The facilities are not expected to accommodate people with medical conditions such as autism, intellectual disability, chronic or long-term mental/psychiatric disorder, or physical or even multiple disabilities.

Broadway Family is specifically designed and equipped with the needed accommodation facilities to give comfort and security to all our residence irrespective of the religious affiliations, their race, or ethnicity. We are certain that our values align with Freehold Borough and we will continue to look to the Board and the residents of the Borough for their insights. We are proud to support our veterans and our doors are open to the brave men and women who have served our country.

The essential nature of services provided by facilities like ours and the continued growth of the aging population has stimulated demand for the industry services. Since the aging population are more prone to injury and illness, and therefore require more assistance with daily activities, the larger share of senior adults has propelled demand for facilities that offer these services. The trend in the industry is that, operators in the industry are now flexible enough to adjust their services and facilities to attract more knowledgeable and educated residents by incorporating more technology and adapting to new markets. Our facility will be the top of the line in regards to the building and amenities provided.

Broadway Family Health Care is a family business that is owned and managed by Mr. Daniel Vaysberg and his family. Daniel Vaysberg, along with a licensed health administrator, and professional staff will operate the facility. Daniel holds a Bachelor's Degree in Public Health from Rutgers University and is truly passionate when it comes to taking care of the aging population.

## **2. Our Products and Services**

In all that we do, we will ensure that our residents are satisfied and are willing to recommend our facility to their family members and friends. We are in the business to deliver excellent services and we are willing to go the extra mile to achieve the shared vision of a better Freehold Borough. Broadway Family Health Care will provide a conducive home for our residents; we will engage in services that will help our residents complete daily basic and simple tasks, such as taking medication or bathing, making dinners, having

conversations, making appointments, and getting to a day service, budget their personal allowance, select photos for their room or album, meet neighbors and "carry out civic duties," make emergency calls or inquiries, and exercise regularly amongst other activities.

The facility will be decorated in an exquisite and elegant facade, and remain in the historically relevant style common in Freehold Borough. We will be equipped with everything that will make life comfortable for the elderly. We will also install a free Wi-Fi that will enable our residents and guests surf the internet with their laptop in the room free of charge, and there will be wireless access in all the public area within the lodging facility.

### **3. Our Mission and Vision Statement**

- Our vision is to become the new standard when it comes to non – medical home care facilities in the whole of New Jersey.
- Our mission is to build a non – medical home care facility that will meet and surpass the needs of all the residents of our facility; we want a profitable and successful business.

### **Our Business Structure**

Broadway Family Health Care is a business that will be built on a solid foundation. We are quite aware of the rules and regulations governing the home care facility industry which is why we decided to recruit only well experienced and qualified employees as foundational staff of the organization. The staffing regulations will be followed as described in New Jersey Administrative Code, Title 5 Community Affairs, Chapter 27A Residential Health Care Facilities. All of our employees will be subject to a background check, rigorous interview process, and will be in good physical and mental health, emotionally stable, of good moral character and care concerned for the safety and wellbeing of the residents (N.J.A.C 5:27A-1.5 2018). Our facility will be subject to an annual inspection by the state of New Jersey to ensure that residents, staff, and facility are well taken care of. When hiring, we will look out for applicants that are not just qualified and experienced, but homely, honest, customer centric and are ready to work to help us build a prosperous business that will benefit all the stake holders (Freehold Borough, the owners, workforce, and residents).

These are the positions that will be available at Broadway Family Health Care;

- Operator/ Owner
- Licensed Health Administrator
- Home Caregivers
- Accounting Officer
- Home Care and Sanitation Staff

### **4. Job Roles and Responsibilities**

#### **Operator/ Owner:**

- Increases management's effectiveness by recruiting, selecting, orienting, training, coaching, counseling, and disciplining managers; communicating values, strategies, and objectives



- Responsible for fixing prices and signing business deals
- Responsible for providing direction for the business
- Responsible for signing checks and documents on behalf of the company
- Identifies, prioritizes, and reaches out to new clients, and business opportunities
- Documents all customer contact and information
- Communicates with Home Care Administrator to ensure smooth operation of facility and ensure comfort and safety of residents

#### **Licensed Home Care Administrator**

- Responsible for overseeing the smooth running of HR and administrative tasks for the organization
- Designs job descriptions drive performance management for clients
- Maintains office supplies by checking stocks; placing and expediting orders; evaluating new products.
- Defines job positions for recruitment and managing interviewing process
- Responsible for training, evaluation and assessment of employees
- Responsible for arranging travel, meetings and appointments
- Oversees the smooth running of the daily home activities.
- Responsible for managing our residents
- Responsible for offering home medication management services

#### **Accountant/Cashier**

- Responsible for preparing financial reports, budgets, and financial statements for the organization
- Responsible for financial forecasting and risks analysis.
- Performs cash management, general ledger accounting, and financial reporting for the organization
- Responsible for developing and managing financial systems and policies
- Responsible for administering payrolls
- Ensuring compliance with taxation legislation
- Handles all financial transactions for Broadway Family Health Care
- Serves as internal auditor for Broadway Family Health Care.

#### **Home Care and Sanitation Staff:**

- Responsible for cleaning the facility at all times
- Ensure that toiletries and supplies don't run out of stock
- Assist our residents when they need to take their bath and carry out other household tasks
- Cleans both the interior and exterior of the facility
- Handle any other duty as assigned by the facility manager
- Handle food preparation and assist residents during meal times

### **5. Marketing and Advertising Strategy**



The marketing and sales strategy will be based on generating long-term personalized relationships with our residents. In order to achieve that, we will ensure that we offer top notch services at affordable prices compare to what is obtainable in New Jersey. We know that if we are consistent with offering high quality service delivery and excellent customer service, we will achieve full occupancy within our first year of operation. We will consult experts who have good understanding of the home care facility industry to help us develop marketing strategies that will help us achieve our business goals. Broadway Family Health Care's marketing and advertising strategy is to effectively communicate our brand to the population of Freehold Borough and surrounding areas. The following strategies intend to promote and advertise Broadway Family Health Care;

- Leverage on the internet (APlaceForMom, Freehold Borough Forum, etc.) and social media platforms like; Instagram, Facebook, twitter, YouTube, Google + to promote our brand
- List our business on yellow pages ads (local directories)
- Engage in direct marketing
- Leverage on word of mouth marketing (referrals)
- Enter into business partnership with hospitals, government agencies and health insurance companies.
- Place advertisements on both print (community-based newspapers and magazines) and electronic media platforms
- Ensure that all our workers wear our branded shirts and all our vehicles are well branded with our company's logo.

## **6. Sustainability Strategy**

Broadway Family health Care will work towards ensuring that all our services are offered at highly competitive prices compared to what is obtainable in New Jersey. In view of that, it is easier for service providers to bill their clients based on their discretions. Be that as it may, we have plans in place to reward our loyal residents especially when they refer clients to us.

One of our major goals is to build a business that will survive off its own cash flow without the need for additional funding from external sources once the business is officially running.

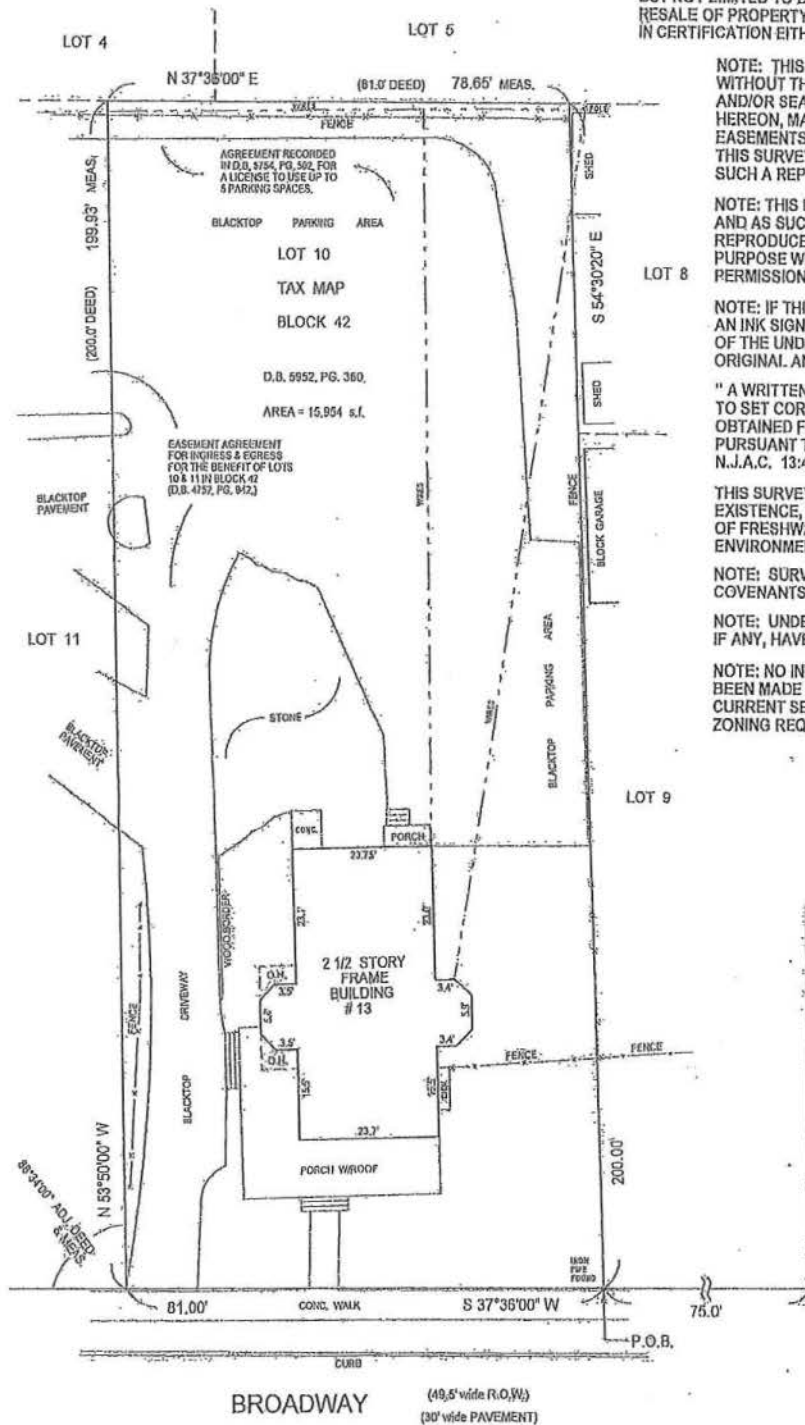
We know that one of the ways of gaining approval and winning customers over is to offer our care services a little bit cheaper than what is obtainable in the market and we are well prepared to survive on lower profit margin for a while.

Broadway Family Health Care will make sure that the right foundation, structures and processes are put in place to ensure that our staff and resident welfare are well taken of.

## **Check List/Milestone**

- Business Name Availability Check: **Completed**
- Business Registration: **Completed**
- Opening of Corporate Bank Accounts: **Completed**
- Application and Obtaining Tax Payer's ID: **Completed**
- Application for business license and permit: **In Progress**
- Purchase of Insurance for the Business: **In Progress**
- Leasing of facility and remodeling the facility: **In Progress**
- Generating capital from family members: **Completed**
- Writing of Business Plan: **Completed**
- Drafting of Employee's Handbook: **In Progress**
- Drafting of Contract Documents and other relevant Legal Documents: **In Progress**
- Design of The Company's Logo: **In Progress**
- Graphic Designs and Printing of Packaging Marketing / Promotional Materials: **In Progress**
- Recruitment of employees: **In Progress**
- Purchase of the Needed furniture, racks, shelves, computers, electronic appliances, office appliances and CCTV: **In Progress**
- Creating Official Website for the Company: **In Progress**
- Health and Safety and Fire Safety Arrangement (License): **In Progress**
- Opening party / launching party planning: **In Progress**

PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAME PURCHASER, NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING BUT NOT LIMITED TO USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION EITHER DIRECTLY OR INDIRECTLY.



NOTE: THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF ANY TITLE REPORT AND/OR SEARCH. THE PROPERTY SHOWN HEREON, MAY BE SUBJECT TO VARIOUS EASEMENTS AND/OR "RIGHTS OF OTHERS". THIS SURVEY IS SUBJECT TO REVISIONS AS SUCH A REPORT AND/OR SEARCH MAY REVEAL.

NOTE: THIS DOCUMENT IS COPYRIGHT PROTECTED AND AS SUCH NO PORTION OF THIS WORK MAY BE REPRODUCED IN ANY FORMAT AND/OR FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE UNDERSIGNED PROFESSIONAL.

NOTE: IF THIS DOCUMENT DOES NOT CONTAIN AN INK SIGNATURE AND A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

"A WRITTEN 'WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, c.14(C45:8-36.3) and N.J.A.C. 13:40-5.1 (d)".

THIS SURVEY DOES NOT DETERMINE THE EXISTENCE, NONEXISTENCE OR LOCATION OF FRESHWATER WETLANDS OR OTHER ENVIRONMENTAL CONDITIONS.

NOTE: SURVEY SUBJECT TO EASEMENTS, COVENANTS AND RESTRICTIONS OF RECORD.

NOTE: UNDERGROUND UTILITIES, IF ANY, HAVE NOT BEEN LOCATED.

NOTE: NO INVESTIGATION HAS BEEN MADE BY THIS FIRM INTO CURRENT SETBACK AND/OR ZONING REQUIREMENTS.

SURVEY OF PROPERTY FOR: 13 BROADWAY REALTY LLC  
SITUATED IN: FREEHOLD BOROUGH, MONMOUTH COUNTY, NEW JERSEY  
PREPARED BY: THOMAS M. ERNST & ASSOCIATES, PROFESSIONAL LAND SURVEYORS, INC.  
457 SPOTSWOOD-ENGLISHTOWN ROAD P.O. BOX 221 JAMESBURG, N.J. 08831  
CERTIFICATE NUMBER 24GA27667000 PHONE (732) - 251 - 1001 FAX (732) - 251 - 9470  
DATE: MAY 27, 2020 SCALE: 1" = 20'

CERTIFIED TO: 13 BROADWAY REALTY LLC;  
WESTCOR LAND TITLE INSURANCE COMPANY;  
EAST COAST TITLE AGENCY;  
ROBERT A. BLANDA, Jr., ESQUIRE;  
BLANDA & BLANDA, ESQUIRES.

02056630

MICHAEL S. LYNCH  
PROFESSIONAL LAND SURVEYOR  
NEW JERSEY LLC, # 35382

I hereby acknowledge the above and agree to close despite same  
13 Broadway Realty LLC

By: Mark Vayshberg, Manager

Date





# WESTCOR

LAND TITLE INSURANCE COMPANY

## SURVEY ENDORSEMENT (for Commitment or Policy)

File No. 02056630

Attached to and made a part of **Commitment Number: 02056630**

Exception No. 1 is removed. Exception No. 1 is removed. Notwithstanding any provision in the policy to the contrary, unless an exception is taken in Schedule B, the Policy insures against loss arising from any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title. The following matters shown on a survey made by Thomas M. Ernst & Associates, Inc., dated May 27, 2020, are added to Schedule B:

- (a) Blacktop Drive and Walkway on, along and outside the property lines
- (b) Mislocation of Fences
- (c) Blacktop Pavement on, along and outside the property lines
- (d) Easement Agreement for ingress and egress for the benefit of Lots 10 & 11 in Block 42
- (e) Agreement for a License to use up to 5 parking spaces
- (f) Mislocation of Fences
- (g) Overhead wires crossing the premises
- (h) Shed on, along and outside the property lines

None further.

This policy does not insure against errors or inaccuracies in the survey with respect to matters which do not affect title.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

Dated: June 1, 2020

**Westcor Land Title Insurance Company**

*Odette A. Siggelakis*

Odette A. Siggelakis  
Authorized Officer or Agent

Issued by  
EAST COAST TITLE AGENCY  
202 ROUTE 18 NORTH  
EAST BRUNSWICK, NJ 08816-1409  
732-828-6500 Fax: 732-249-2635



By:

*Mary O'Connell*

President

Attest:

*[Signature]*

Secretary

*I hereby acknowledge the above and agree to close despite same*

*13 Broadway Realty LLC*

By:

*Mark Vaysberg, Manager*

*Date*

Charge, Record and Return to:  
MEHR & LA FRANCE, ESQUIRES  
Post Office Box 680  
Freehold, New Jersey 07728  
MEHR & LA FRANCE, ESQUIRES  
Recording Account No. 560

CHGACCT 560

EASEMENT AGREEMENT

PREPARED BY:  
C. J. MEHR, ESQ.  
WILLIAM J. MEHR, ESQ.  
ATTY AT LAW  
NEW JERSEY

THIS AGREEMENT made this 30th day of April, 1987, is between 13 BROADWAY ASSOCIATES, INC., a New Jersey corporation with principal offices c/o Robert Covino, 315 Pond Road, Freehold, Monmouth County, New Jersey, and 11 BROADWAY, INC., a New Jersey corporation with principal offices c/o Robert Covino, 315 Pond Road, Freehold, Monmouth County, New Jersey, and provides as follows:

WHEREAS, 13 BROADWAY ASSOCIATES, INC. is the owner of property located at 13 Broadway, Freehold Borough, New Jersey, being also known as Block 42, Lot 10 on Sheet 14 on the Freehold Borough Tax Map; and

WHEREAS, 11 BROADWAY, INC. is the owner of property located at 11 Broadway, Freehold Borough, New Jersey, also known as Block 42, Lot 11, Sheet 14 on the current Tax Map of the Borough of Freehold; and

WHEREAS, the above mentioned properties are contiguous to each other and each presently has a driveway area off of Broadway (New Jersey State Highway Route 79) which is utilized for ingress and egress purposes to each house's parking area in the rear of each property; and

WHEREAS, 13 BROADWAY ASSOCIATES, INC. did apply to the Planning Board of the Borough of Freehold for site plan approval to convert the existing two and one-half story frame dwelling on its property to professional offices in accordance with the requirements of the Freehold Borough B-1 office/commercial zone; and

WHEREAS, pursuant to the site plan applications filed, and in order to minimize the left turning movements into and out of these properties onto Broadway, and to better control and directionalize traffic entering onto the properties of each of the parties hereto, and to better utilize the existing and proposed parking areas to the rear of each building for the common benefit of both property owners and to therefore minimize and/or eliminate any on-street parking requirements related to the use of the buildings for office

RECORDED  
MONMOUTH COUNTY  
CLERKS OFFICE  
JAN 14 1987  
JANE G. CLAYTON  
COUNTY CLERK  
FREEHOLD N.J.

DB4752-0942

Recd 5-5-87

and professional uses, the owners of each of said properties has represented to the Planning Board of the Borough of Freehold that they would directionalize their traffic by having the ingress from Broadway for both buildings be on Lot 10, the same being the property owned by 13 BROADWAY ASSOCIATES, INC., and the common egress from both properties be on the property of 11 BROADWAY, INC., and that there be provided a driveway link between the two properties across the common property line; and

WHEREAS, 13 BROADWAY ASSOCIATES, INC. did file an appropriate site plan map with the Freehold Borough Planning Board prepared by Victor Vinegra, P.E., P.L.S., dated January 14, 1987 and revised through February 5, 1987 pursuant to the Borough engineer's requirements which shows the above; and

WHEREAS, the Freehold Borough Planning Board at its meeting of February 25, 1987 did adopt a Resolution approving the preliminary and final site plan applications of 13 BROADWAY ASSOCIATES, INC. based on the common driveway access and egress and joinder of the two parking lots, all in accordance with the filed site plan and subject to the owners of the two properties filing a joint and reciprocal easement setting forth the terms and conditions of their agreement regarding common ingress and egress; and

WHEREAS, the officers of each of said corporations have considered the mutual benefits to be created by granting mutual and reciprocal easements regarding the common driveway and parking uses of their premises, and have agreed therefore to enter into the terms and conditions of this easement agreement by appropriate actions of their respective boards of directors:

NOW, THEREFORE, in consideration of the mutual covenants and conditions contained herein, and in further consideration of the sum of ONE (\$1.00) DOLLAR in hand paid by each party to the other, the parties do hereby agree as follows:

1. The grantors' names which are set forth above, being the owners of Block 42, Lots 10 and 11 on the Freehold Borough Tax Map, do hereby each agree to build, construct, retain and maintain a driveway area being at least twelve (12') feet in width along the



southerly property line of each of the above mentioned lots entering from Broadway on Lot 10 and exiting onto Broadway on Lot 11 for the joint and mutual benefit of each other.

2. The parties do further agree that the parking areas to the rear of each of the buildings may be used in common by the occupants and visitors to each of the buildings on each of the lots referred to above on an overflow parking basis.

3. The parties do hereby agree that there shall be constructed and built and maintained a fifteen (15') foot wide bituminous asphalt driveway between the two parcels of property linking the two parking areas at a point approximately twenty (20') feet from the rear (westerly) property line of each of the properties.

4. The parties do hereby agree that each party shall build, construct and maintain the driveway area on their own property as well as the parking area to the rear of their property for the joint and mutual benefit of themselves and the other party, and that 13 BROADWAY ASSOCIATES, INC. shall build, construct and install the fifteen (15') foot wide interconnecting driveway between the two parking areas, all as shown on the aforesaid site plan map which was filed with the Borough of Freehold, and as shall be actually constructed on the properties.

5. The parties do hereby agree thereafter that each party shall maintain in a free, clear and unobstructed manner the easements granted herein for the joint and mutual benefit of the parties.

6. The parties do further agree that in the event that the parties no longer wish to maintain the joint and reciprocal easements provided for herein for the mutual benefit of the parties, then in such event, and if the parties can agree in writing to the discontinuance of the easement, the same shall not be effective unless and until the Planning Board of the Borough of Freehold has agreed by Resolution to the elimination of this easement and the interconnecting driveway between the parking areas is actually separated by removal of the bituminous pavement, or by the installation of fencing, or some other barrier. The aforesaid approval of the owners of the properties and the Planning Board of the Borough of Freehold shall be evidenced

by a Deed or other document eliminating the easement with a copy of the appropriate approval Resolution of the Borough of Freshhold Planning Board and/or Board of Adjustment, and/or other governmental authority at such time which has similar zoning and planning approval powers as are presently provided for in Title 40:55D of the New Jersey State Statutes.

IN WITNESS WHEREOF, the undersigned parties have set forth the appropriate signatures and seals of the corporate entities the day and year first above written.

Attest:

William J. Holohan  
William J. Holohan, Secretary

13 BROADWAY ASSOCIATES, INC.

By: Robert Covino  
Robert Covino, President

Attest:

William J. Holohan  
William J. Holohan, Secretary

11 BROADWAY, INC.

By: Robert Covino  
Robert Covino, President

END OF DOCUMENT

STATE OF NEW JERSEY :  
COUNTY OF MONMOUTH : S.S.

BE IT REMEMBERED, that on March 1, 1987, before me, the subscriber, a Notary Public, personally appeared WILLIAM J. HOLOHAN, who, being by me duly sworn on his oath, deposes and makes proof to my satisfaction, that he is the Secretary of 13 Broadway Associates, Inc. and 11 Broadway, Inc.; that Robert Covino is the president of both corporations named in the within document; that the execution, as well as the making of this document, has been duly authorized by proper resolutions of the boards of directors of the said corporations; that deponent well knows the corporate seal of both corporations; and that the seals affixed hereto are the proper corporate seals and were hereto affixed and said document signed and delivered by said secretary and president as and for the voluntary act and deed of said corporations, in the presence of deponent, who thereupon subscribed his name as attesting witness.

Sworn to and subscribed  
before me this 1st day of  
April, 1987.

Theresa A. Solomon  
Theresa A. Solomon, Notary Public

William J. Holohan  
WILLIAM J. HOLOHAN

-4-

THeresa A. SOLOMON  
NOTARY PUBLIC OF NEW JERSEY  
MY COMMISSION EXPIRES JULY 30, 1991

DB4752-0945





320541

## AGREEMENT

clg. #1756  
Record & Return  
COMMONWEALTH TITLE  
64 WEST MAIN ST.  
FREEHOLD, NJ 07728  
6-35962

5

THIS AGREEMENT, made this 27th day of August, 1998 between ELEVEN BROADWAY, INC., a New Jersey corporation, (hereinafter sometimes referred to as "11 Broadway") as owner of the property located at 11 Broadway, Freehold, New Jersey and shown on the Tax Map of the Borough of Freehold as Block 42, Lot 11; 13 BROADWAY ASSOCIATES, INC., a New Jersey corporation, (hereinafter sometimes referred to as "13 Broadway") which owns property located at 13 Broadway, Freehold, New Jersey and shown on the Tax Map of the Borough of Freehold as Block 42, Lot 10; and ANTHONY CAMMALLERE and/or his assign, 23 Kilmer Drive, Morganville, New Jersey, who is the purchaser of the property located at 11 Broadway, Freehold Borough, New Jersey from 11 Broadway, Inc.;

WHEREAS, the properties owned by 11 BROADWAY and 13 BROADWAY are contiguous to each other, and presently share common ingress and egress pursuant to an Easement Agreement between the parties dated April 30, 1987 and recorded in the Clerk's Office of the County of Monmouth on May 5, 1987 in Deed Book 4752 at page 942, which Easement provides for common parking areas on both properties for their mutual benefit on an overflow parking basis as well as cross access, ingress and egress; and

WHEREAS, 11 BROADWAY also entered into a separate Easement Agreement with Gertrude K. Saker, the owner of Block 42, Lot 12 in the Borough of Freehold, County of Monmouth and State of New Jersey on October 10, 1992 which Easement was recorded in the Clerk's Office of the County of Monmouth on November 4, 1992 in Deed Book 5177 at page 647; and

WHEREAS, said Saker Easement provides for the use of the driveway on 11 Broadway for common egress between 11 Broadway and Gertrude Saker's property located at 9 Broadway subject to the duty of said Gertrude Saker, her successors, assigns and transferees to maintain the common driveway, including the re-paving and/or resealing of the same as may from time to time be required and as set forth in the recorded Easement; and

WHEREAS, ANTHONY CAMMALLERE is now purchasing the property known as 11 Broadway (Block 42, Lot 11 on the Freehold Borough Tax Map) from ELEVEN BROADWAY, INC. and has requested the dedication of certain parking spaces located at 13 Broadway for the use and or benefit of the owner of 11 Broadway; and

WHEREAS, 13 BROADWAY ASSOCIATES, INC. has agreed to grant the owner of 11 Broadway a license to use up to five (5) parking spaces on the property known as 13 Broadway in consideration for ANTHONY CAMMALLERE constructing an additional five (5) parking spaces on the property known as 13 Broadway at the said ANTHONY CAMMALLERE's sole cost and expense;

NOW, THEREFORE, in consideration of the mutual covenants and conditions contained herein, the parties hereby agree as follows:

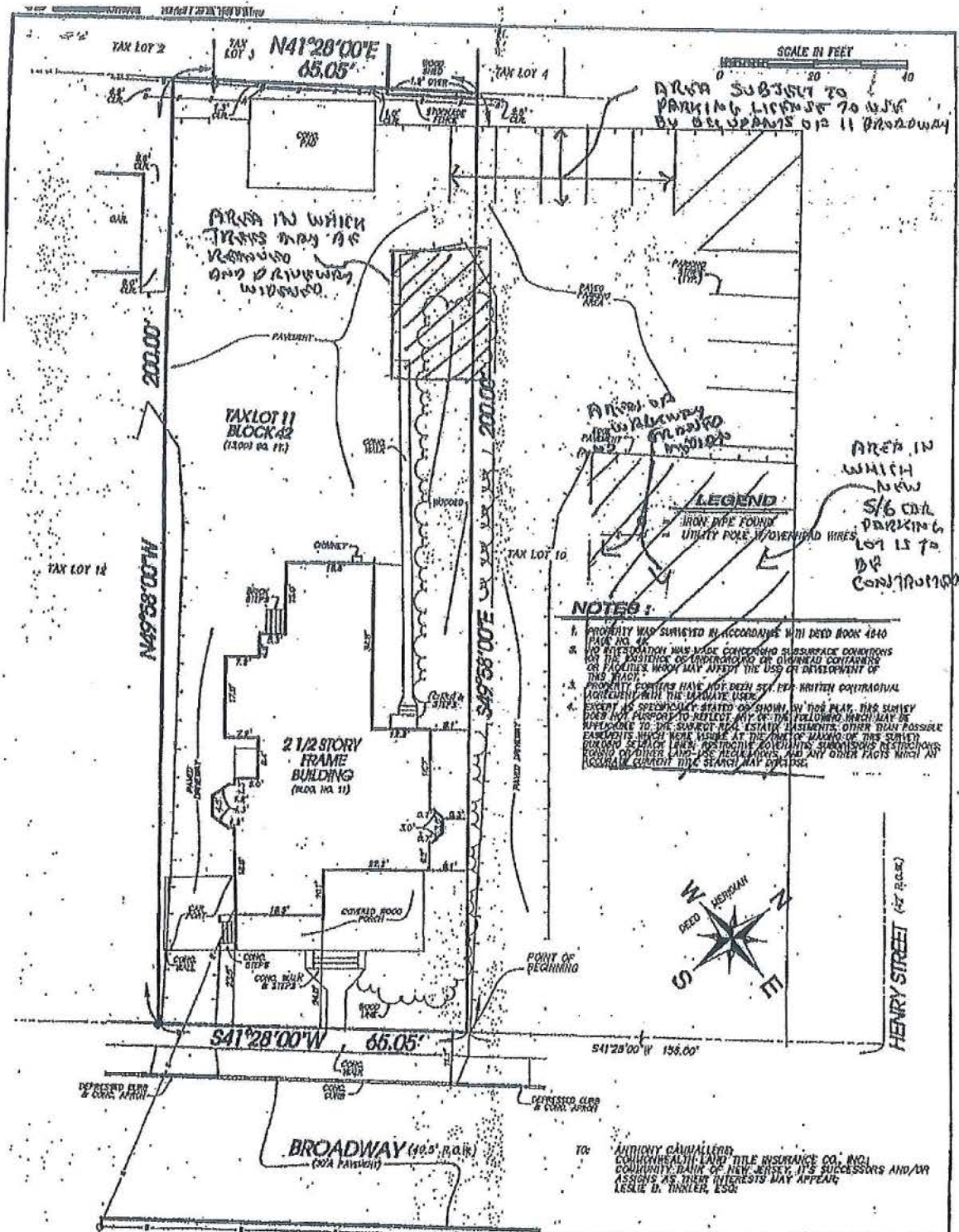
1. The parties hereto do hereby ratify and reconfirm, as their interests may appear, the terms and conditions of the two recorded Easements referred to above and the terms and conditions contained therein.

2. 11 BROADWAY, INC. and 13 BROADWAY ASSOCIATES, INC. do hereby grant to ANTHONY CAMMALLERE, his successors, transferees and assigns a license to utilize the five (5) existing parking spaces currently located on the northwest corner of 13 Broadway (Block 42, Lot 10 on the Freehold Borough Tax Map) as shown on the survey of Block 42, Lot 11 attached hereto as "Area Subject to Parking License";

3. In consideration of the grant set forth above, and as a pre-condition to its effectiveness, ANTHONY CAMMALLERE shall construct on the property of 13 BROADWAY ASSOCIATES, INC. within the existing grassed area shown on the attached map as "Area in

DB 5754-582 Recd 10/2/98





**MAP OF SURVEY**  
**TAXLOT 11 BLOCK 42**  
 BOROUGH OF FREEHOLD  
 MONMOUTH COUNTY, NEW JERSEY

**GRAVATT**  
**QUILLER**  
 & ASSOCIATES  
 Consulting Engineers Surveyors Planners

SCALE: 1" = 20'  
 DATE: JULY 22, 1998  
 DRAWN BY: J.S.D.C.  
 CHECKED BY: J.P.A.  
 SHEET NO. 1 OF 1  
 PROJECT NUMBER  
**F0264**

This is to certify that this survey is accurate and that this drawing is a true representation of actual conditions existing on the property, except such statements, if any that may be located below the surface of the lands, or on the surface of the lands and not visible, this certification is made only to known named parties for purchase and/or mortgage of land; and the surveyor is not responsible for liability is assumed by surveyor for use of survey for any other purpose including, but not limited to use of survey for survey, division, title of property or to any other person not listed in certification, either directly or indirectly.

TO: ANTHONY CAVALLO  
 COMMERCIAL LAND TITLE INSURANCE CO., INC.  
 COMMUNITY BANK OF NEW JERSEY, ITS SUCCESSORS AND/OR  
 ASSIGNS AS THEIR INTERESTS MAY APPEAR  
 LESLIE D. THAYER, ESQ.

DATE: 7/28/98  
 DME



which proposed 5/6 car parking lot is to be constructed" five (5) to six (6) parking spaces as site conditions permit, at the sole cost and expense of ANTHONY CAMMALLERE. Said area for parking spaces shall be cleared and the appropriate parking lot sub-base materials shall be installed and final pavement added and striped to the same quality as the existing adjoining parking area. As part of the construction, the existing walkway to the rear of 13 Broadway shall remain, and a grass median along the driveway on the northwest side of the building shall remain.

4. In addition to the above, as part of the conditions of this Agreement between the parties, ELEVEN BROADWAY, INC. and 13 BROADWAY ASSOCIATES, INC. do hereby grant to ANTHONY CAMMALLERE the right to remove trees within an area shown on the attached sketch as "area in which trees may be removed" which area may then either be grassed, landscaped or paved over by ANTHONY CAMMALLERE to enhance the cross access between the properties.

5. Upon completion of the renovations provided for herein, and the closing of title to the property between ELEVEN BROADWAY, INC. and ANTHONY CAMMALLERE, the parties hereby agree that thereafter ANTHONY CAMMALLERE, his successors, transferees and/or assigns shall be responsible for the maintenance of the driveways and parking areas on Block 42, Lot 11, as well as the area of the cross access driveway between Lot 11 and Lot 10, and the five (5) parking spaces area on which the license to utilize for parking purposes has been granted by 13 BROADWAY ASSOCIATES, INC., by this Agreement.

6. 13 BROADWAY ASSOCIATES, INC. shall be responsible for the maintenance of all parking and driveway facilities located on Block 42, Lot 10 including the newly created parking area and the common usage entrance driveway from Broadway, except for the five (5) parking spaces to which a license has been granted to ANTHONY CAMMALLERE, his transferees, successors and assigns, and the connecting driveway between the two properties referred to above. The parties do hereby agree that this Agreement is to be read in pari materia with the prior joint and reciprocal easement between ELEVEN BROADWAY, INC. and 13 BROADWAY ASSOCIATES, INC. recorded in 1987, referred to above, which agreement is ratified and reconfirmed, except for any specific contrary agreements agreed to by the parties herein.

IN WITNESS WHEREOF, the undersigned parties have set their appropriate hand and seals the day and year first above written.

ELEVEN BROADWAY, INC.

Attest:

By:

ROBERT COVINO, PRES.

William Holohan  
WILLIAM HOLOHAN, SECY

13 BROADWAY ASSOCIATES, INC.

Attest:

By:

Robert Covino, President

William Holohan  
William Holohan, Secretary

CLERK'S OFFICE  
MONTGOMERY COUNTY  
NEW JERSEY

INSTRUMENT NUMBER  
1998141398

RECORDED ON

OCT. 02, 1998

3:32:55 PM

BOOK: DB-5754

PAGE: 582

Total Pages: 5

COUNTY RECORDING

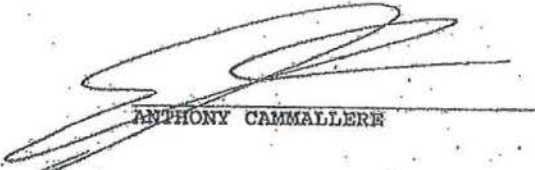
FEES \$21.00

DEDICATED TRUST

FUND COMMISSION

\$2.00

TOTAL \$23.00

  
ANTHONY CAMMALLERI

STATE OF NEW JERSEY, COUNTY OF MONMOUTH

I CERTIFY that on August 27, 1998, William Holohan personally came before me and this person acknowledged under oath, to my satisfaction, that:

(a) this person is the Secretary of ELEVEN BROADWAY, INC., the corporation named in the attached document;

(b) this person is the attesting witness to the signing of this document by the proper corporate officer who is Robert Covino, the President of the corporation;


(c) this document was signed and delivered by the corporation as its voluntary act duly authorized by a proper resolution of its Board of Directors;

(d) this person knows the proper seal of the corporation which was affixed to this document; and

(e) this person signed this proof to attest to the truth of these facts.

  
William Holohan, Secretary

Signed and sworn to before  
me on August 27, 1998.

  
WILLIAM J. MEHR  
Attorney at Law State of New Jersey

STATE OF NEW JERSEY, COUNTY OF MONMOUTH

I CERTIFY that on August 27, 1998, William Holohan personally came before me and this person acknowledged under oath, to my satisfaction, that:

(a) this person is the Secretary of 13 BROADWAY ASSOCIATES, INC., the corporation named in the attached document;

(b) this person is the attesting witness to the signing of this document by the proper corporate officer who is Robert Covino, the President of the corporation;

(c) this document was signed and delivered by the corporation as its voluntary act duly authorized by a proper resolution of its Board of Directors;

(d) this person knows the proper seal of the corporation which was affixed to this document; and

(e) this person signed this proof to attest to the truth of these facts.

  
William Holohan, Secretary

Signed and sworn to before  
me on August 27, 1998.

  
WILLIAM J. MEHR  
Attorney at Law State of New Jersey



Boro of Freehold  
51 West Main Street  
Freehold, NJ 07728  
(732) 462-4903



Date Issued 8/11/20  
Control #  
Permit # 20-0279

## CONSTRUCTION PERMIT NOTICE

Block 42 Lot 10

Work Site Location: 13 Broadway

### AUTHORIZED FOR:

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> BUILDING | <input type="checkbox"/> ELECTRICAL      |
| <input type="checkbox"/> PLUMBING            | <input type="checkbox"/> FIRE PROTECTION |
| <input type="checkbox"/> ELEVATOR DEVICES    |  |
| <input type="checkbox"/> OTHER _____         |  |

Description of Work: Basement Alterations As Per Plan

This notice shall be posted conspicuously at the work site and shall remain so until issuance of a certificate.

Borough of Freehold  
51 West Main St.  
Freehold, NJ 07728



# CONSTRUCTION PERMIT

Date Issued

Permit #:

8/11/20  
20-0279

## IDENTIFICATION

**Work Site Location:**  
13 BROADWAY  
Freehold, NJ 07728

Block/Lot: 42/10

Qualification Code:

Contractor: NJ ELITE CONCRETE LLC

Address:  
P.O. BOX 383  
SOUTH RIVER NJ 08882  
Tel. (908) 937-7175  
License # or Builders Registration #:

Owner in Fee: 13 Broadway LLC  
Address:  
33 Ferry Street  
South River, NJ 08882  
Tel. 732-310-0747

Is hereby granted permission to perform the following work:

- |  |  |  |
|--|--|--|
| <input checked="" type="checkbox"/> Building | <input type="checkbox"/> Plumbing                                  | <input type="checkbox"/> Lead Hazard Abatement |
| <input type="checkbox"/> Electrical          | <input type="checkbox"/> Fire Protection                           | <input type="checkbox"/> Demolition            |
| <input type="checkbox"/> Elevator Devices    | <input type="checkbox"/> Asbestos Abatement<br>(subchapter 8 only) | <input type="checkbox"/> Other                 |

Description of work:

BASEMENT ALTERATIONS AS PER PLAN

**Note: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.**  
Estimated Cost of Work: \$ 6,500.00

Construction Official

Date

8/7/20

## PAYMENTS

Building	215.00
Electrical	0.00
Plumbing	0.00
Fire Protection	0.00
Elevator	0.00
Other	0.00
DCA State Permit Fee	12.00
Cert. of Occupancy	0.00
Other	0.00
Credit	0.00
<b>Total</b>	<b>227.00</b>
<b>Amount Paid</b>	<b>0.00</b>

Check # 1013-0  
Cash  
Collected By



**Borough of Freehold**  
51 West Main St.  
Freehold, NJ 07728  
**BUILDING SUBCODE**  
**TECHNICAL SECTION**



**A. IDENTIFICATION-APPLICANT:** COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO 1-800-272-1000.

Block/Lot: 42/10 \_\_\_\_\_ Qualification Code: \_\_\_\_\_

Work Site Location: 13 BROADWAY Freehold, NJ 07728

Owner in Fee: 13 Broadway LLC

Tel. 732-310-0747

Address 13 BROADWAY Freehold, NJ 07728

Contractor: NJ ELITE CONCRETE LLC \_\_\_\_\_ Tel. (908) 937-7175

Address: P.O. BOX 383 \_\_\_\_\_ e-mail \_\_\_\_\_

Contractor License No. or Builder Registration No. Exp. Date \_\_\_\_\_

Home Improvement Contractor Registration No. or Exemption Reason (if applicable): \_\_\_\_\_

Federal Emp. ID No. 842616084 FAX: \_\_\_\_\_

**JOB SUMMARY (Office Use Only)**

Plan Review	Date	Initial	INSPECTIONS	Dates (Month/ Day)			
			Type	Failure	Failure	Approval	Initial
<input type="checkbox"/> No Plans Required			Footings	_____	_____	_____	_____
<input type="checkbox"/> All			Footings Bonding	_____	_____	_____	_____
<input type="checkbox"/> Footing			Slab	_____	_____	_____	_____
<input type="checkbox"/> Foundation			Frame	_____	_____	_____	_____
<input type="checkbox"/> Frame			Truss Sys./Bracing	_____	_____	_____	_____
<input type="checkbox"/> Other			Barrier-Free	_____	_____	_____	_____
Joint Plan Review Required:			Insulation	_____	_____	_____	_____
<input type="checkbox"/> Elec. <input type="checkbox"/> Plumb. <input type="checkbox"/> Fire <input type="checkbox"/> Elevator			Finishes - Base Layer	_____	_____	_____	_____
SUBCODE APPROVED for PERMIT:			Finishes - Final	_____	_____	_____	_____
Date: _____			Energy	_____	_____	_____	_____
Approved By: _____			Mechanical	_____	_____	_____	_____
SUBCODE APPROVAL for CERTIFICATE			T&O	_____	_____	_____	_____
<input type="checkbox"/> CO <input type="checkbox"/> CCO <input type="checkbox"/> CA			Other	_____	_____	_____	_____
Date: _____			Final	_____	_____	_____	_____
Approved By: _____			Barrier-Free	_____	_____	_____	_____

**B. BUILDING CHARACTERISTICS**

Use Group Present: B Proposed: B

Height of Structure: ft. \_\_\_\_\_

Area - Largest Floor: sq. ft. \_\_\_\_\_

New Bldg. Area All Floors: sq. ft. \_\_\_\_\_

Volume of New Structure: cu. ft. \_\_\_\_\_

Max. Live Load: \_\_\_\_\_

Max. Occupancy Load: \_\_\_\_\_

Constr. Class Present: \_\_\_\_\_ Proposed: \_\_\_\_\_

If Industrialized Building: \_\_\_\_\_

State Approved: \_\_\_\_\_ HUD: \_\_\_\_\_

Est. Cost of Bldg. Work: \_\_\_\_\_

1. New Bldg.	\$0.00
2. Rehabilitation	\$6,500.00
3. Total (1 + 2)	\$6,500.00
4. Other	

U.C.C. F110 (rev. 11/09) \_\_\_\_\_  
Internet version \_\_\_\_\_

Date Received: 07/24/2020  
Control #: 20-000798

Date Issued: \_\_\_\_\_  
Permit #: \_\_\_\_\_

**C. CERTIFICATION IN LIEU OF OATH**

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

Sign here: \_\_\_\_\_

Print name here: \_\_\_\_\_

**D. TECHNICAL SITE DATA**

DESCRIPTION OF WORK  
BASEMENT ALTERATIONS AS PER PLAN

TYPE OF WORK	FEE (Official Use Only)
New Building	0.00
Addition	0.00
Rehabilitation	215.00
Roofing	0.00
Siding	0.00
Fence Height (exceeds 6")	0.00
Sign Sq. Ft.	0.00
Pool	0.00
Retaining Wall Sq. Ft.	0.00
Asbestos Subchapter 8	0.00
Lead Haz. Abatement NJAC 5:17	0.00
Radon Remediation	0.00
Other	0.00
Demolition	0.00

Administrative Surcharge	\$0.00
Minimum Fee	\$0.00
State Permit Surcharge Fee	\$12.00
<b>TOTAL FEE</b>	<b>\$227.00</b>

Check # 1013-0  
Cash \_\_\_\_\_  
Collected By 713

Applicant: when submitting this form to your Local Construction Code Enforcement Office, please provide one original plus three photocopies.



Freehold Borough Historic Preservation Commission  
Project Design Review Application for a Certificate of Appropriateness

1. **Property Information:** Address: 13 BROADWAY Block: 42 Lot: 10  
Historic Name (if Known): Realty LLC - Broadway Family Health Care  
Owner's name: MARK VAYSBERG  
Address: 33 FERRY ST.  
City: SOUTH RIVER State: N.J. Zip: 08852  
Email: vmark@optonline.net Phone: 1848459448 Fax: \_\_\_\_\_  
Year built (If Known): \_\_\_\_\_ Architectural style (If Known): \_\_\_\_\_
- a. Type of Building: ☒ Commercial ☐ Industrial ☐ Religious  
☐ Residential ☐ Public  
☐ Mixed Use (state types) \_\_\_\_\_
- b. Is this a multi-tenant building? ☐ If yes, How many? \_\_\_\_\_
- c. What are the existing uses of the property? (Types of businesses) OFFICE
- d. What was the original use of the property? RESIDENTIAL R-5
- e. Is the property listed on any of the following:  
☐ Monmouth County Historic Registry ☐ State Register of Historic Sites  
☐ National Register of Historic Places  
If yes have the reports from registry been requested? ☐ Yes ☐ No. If no please request.
- f. Have or will any public incentive programs including tax abatement programs, grant programs, loan programs, or other public funding be used in the financing of this project? ☐ Yes ☐ No;  
If yes please list in detail: \_\_\_\_\_
- g. Are you applying to the following Freehold Borough Boards for approvals or Permits?  
☐ Redevelopment Authority ☒ Unified Land Use Board (Specify) ZONING  
☐ Governing Body ☐ Zoning/Construction ☐ Business Operating Licenses

Please refer to the following ordinances and reference materials for details concerning design guidelines. The Freehold Borough Sign Ordinance at Chapter 15.16; the Freehold Center Core Redevelopment Plan, and the Freehold Borough Historic Preservation Commission Ordinance at Chapter 2.114; Color chart; and Font List.

2. Applicant Information: Name: MARK VANSTEN Company: 9 KENNEDY REALTY LLC  
(Circle one below)

Owner

Address: 33 FERRY ST

Tenant

City: SOUTH RIVER State: N.J. Zip Code: 08862

Email: vmark@optonline.net Phone: 846459948 Fax: \_\_\_\_\_

3. Contractor Information: Name: \_\_\_\_\_ Company: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Email: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

4. Architect Information: Name: GREG CLARK Company: BACH + CLARK LLC

Address: 10 ZELLERS RD

City: LAUREL VILLAGE State: N.J. Zip Code: 07853

Email: bach.clark@e-variant.net Phone: 7324670215 Fax: \_\_\_\_\_

5. Engineer Information: Name: \_\_\_\_\_ Company: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Email: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

6. Sign maker Information: Name: \_\_\_\_\_ Company: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Email: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

7. Project Information; Type of work to be done: (Check all that apply)

<input type="checkbox"/> Repairs	<input type="checkbox"/> Sidewalks	<input checked="" type="checkbox"/> ADA Compliance	<input type="checkbox"/> Fence or Encloses	<input type="checkbox"/> Windows or Doors
<input type="checkbox"/> Replacement	<input checked="" type="checkbox"/> Siding	<input type="checkbox"/> Masonry	<input type="checkbox"/> Foundation	<input type="checkbox"/> Deck
<input type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Painting	<input checked="" type="checkbox"/> Roof/soffits/fascia	<input type="checkbox"/> Lighting	<input type="checkbox"/> Storefront
<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Porch	<input type="checkbox"/> Gutters/drainage	<input type="checkbox"/> Awning/Canopy	<input type="checkbox"/> Molding & Detail
<input type="checkbox"/> Sign(s)	<input type="checkbox"/> Patio	<input type="checkbox"/> HVAC equipment	<input type="checkbox"/> Cornice/Trim	<input type="checkbox"/> Shutters
<input type="checkbox"/> Street/landscape	<input type="checkbox"/> Chimney(s)	<input type="checkbox"/> Steps/Railings	<input type="checkbox"/> Driveway/curbing	<input type="checkbox"/> OTHER

Please list additional repairs if not checked above: \_\_\_\_\_



a. Describe the past, (Extent Known), current, and proposed use of the property:

ORIGINALLY BUILT AS RESIDENCE (R-5)

CURRENTLY ZONED "B" BUSINESS USE

b. Describe the proposed scope of the work for each item checked above:

NEW ADD RAMP - REAR ENTRY

NEW STAIR - REAR ENTRY

NEW ROOF DORMER - NORTH ELEVATION

c. Describe the existing condition of any existing features or materials expected to be removed or replaced:

REMOVE EXIST. REAR ENTRY STAIR

d. Describe how existing details, features, and/or materials will be restored:

REPAIR/REPLACE EXISTING VINYL

SIDING AS REQUIRED.

REPAIR EXISTING WINDOWS & TRIM

e. List in detail all construction materials to be used in the project; include brand names, model numbers, colors, etc.

GAF TIMBERLINE ROOFING

5" DIMENSION VINYL LAP SIDING

TREATED WOOD / PVC DELT / RAIL SYSTEM



## PROJECT REVIEW CHECKLIST AND SUPPLEMENTAL APPLICATION MATERIALS

A complete application must include the following items attached to this form. Applications without the following information will be deemed incomplete and will not be scheduled for review. Attach additional pages if necessary. Please return 15 color copies of the application packet and support materials to the Historic Preservation Commission office at 51 W. Main Street.

### **A. For Site plans, Subdivisions, and Variances If Required:**

- ☒ 1. Full size set of site plans or survey, if required.
- ☒ 2. Full size set of architectural elevation plans, if required.
- ☒ 3. Color photos of the building and adjoining buildings. (all sides of building)
- ☒ 4. Proposed building elevations; min 1/8" = 1'
- ☐ 5. 8 1/2 x 11 color rendering of building elevations.
- ☐ 6. Samples and support material for the materials to be used (Recommended).

### **B. For Building permits:**

- ☐ 1. Construction Department submissions
- ☐ 2. Color photos of the building and adjoining buildings. (All sides of building)
- ☐ 3. A colored side by side drawing/rendering of the proposed changes and current condition.
- ☐ 4. Samples and support material for the materials to be used (Recommended).

### **C. For Signage, Awnings, and Canopies:**

- ☐ 1. A Scaled drawing of the proposed sign(s). (8 1/2" x 11" shop drawing that clearly indicates all dimensions and total square feet.)
- ☐ 2. A drawing/ rendering of the proposed sign(s) and current sign condition.
- ☐ 3. Color photos of the building and adjoining buildings, including different angles and all sides of buildings.
- ☐ 4. Samples and support material for the materials to be used. (Recommended).

### **D. SUPPLEMENTAL SUBMISSIONS:** (Although not required, these are of great help to the Commission and are appreciated)

- ☐ 1. Available historic photographs or drawing of the building from local resources.
- ☒ 2. Existing professional consultation reports, surveys, etc.
- ☐ 3. Any additional information that you think will help the commission.

*I affirm that I am the owner of the above listed property or the authorized agent of the owner of the property and certify that the information entered is both correct and true to the best of my knowledge.*

Signature: \_\_\_\_\_

Date: 10/19/20

Printed Name: \_\_\_\_\_

## OFFICIAL BUILDING AND CODE DEPARTMENT USE ONLY

Date received: 10/19/20

HPC Application# 102020

Date forwarded to Redevelopment Authority (if applicable): \_\_\_\_\_

Development Authority's Engineers Report (if applicable): \_\_\_\_\_

Development Authority's resolution and minutes: \_\_\_\_\_

Reviewed under Ordinance(s) or Code: 2.114 HPC

Conforms to ordinance(s):        YES        NO

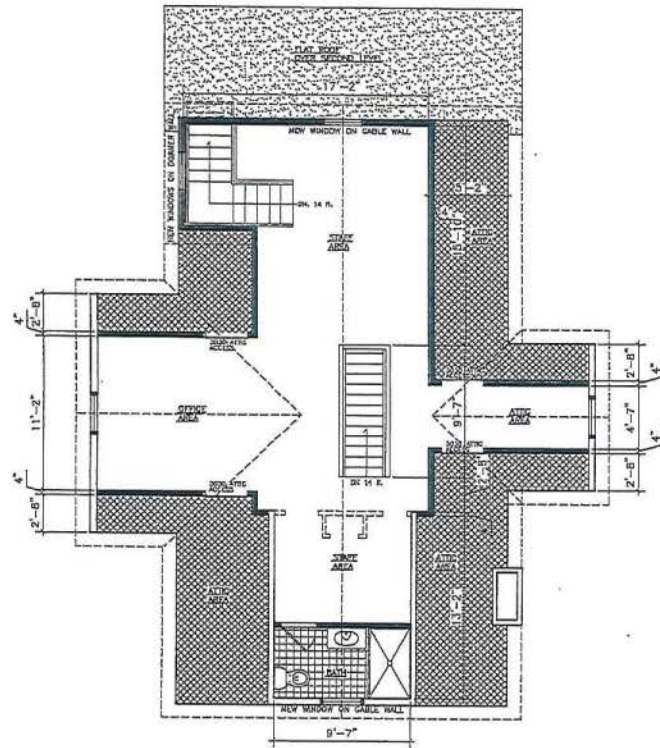
If no, What are the non-conformities? \_\_\_\_\_











### PROPOSED ATTIC LEVEL PLAN

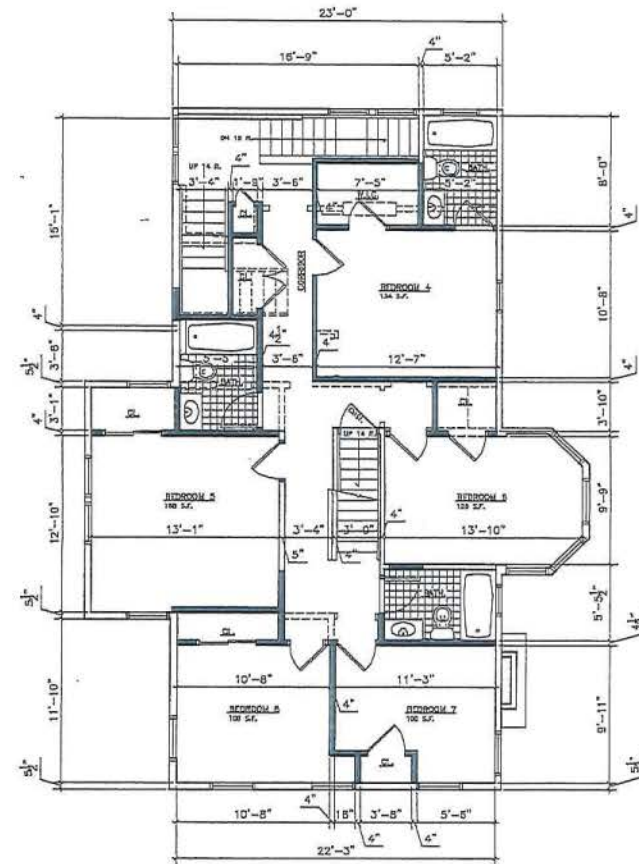
SCALE: 1/4" = 1'-0"

ATTIC LEVEL AREA: 460 S.F.

#### ATTIC FINISH NOTES:

1. ROOF TO BE INSULATED W/R-21 OR BETTER.
2. COLLAR TIES @ 24" O.C. 8'-0" A.F.F.
3. INSTALL 1/2" GYPD. ON UNDERSIDE OF RAFTERS.
4. VENT RAFTER CAVITIES.

DESIGN LOADS	L.L.	D.L.	T.L.	AREA COMPUTATIONS	AREA (S.F.)	AREA (C.F.)
2ND FLOOR	70 PSF	20 PSF	90 PSF	FIRST LEVEL	1,221 S.F.	9,755 C.F.
ATTIC	70 PSF	20 PSF	90 PSF	SECOND LEVEL	1,157 S.F.	9,256 C.F.
ROOF	30 PSF	20 PSF	50 PSF	ATTIC	460 S.F.	3,447 C.F.
BASEMENT	SLAB ON GRADE			BASEMENT (HABITABLE)	920 S.F.	7,350 C.F.
				COMBINED AREA (S.F.)	3,758 S.F.	29,831 C.F.



### PROPOSED SECOND LEVEL PLAN

SCALE: 1/4" = 1'-0"

SECOND LEVEL AREA: 1,157 S.F.

BUILDING DATA		WALL SYMBOLS	
USE GROUP	R-4	EXIST. WALLS TO BE REMOVED	EXIST. WALLS TO REMAIN - NOW FINISH AS NOTED
CONSTRUCTION TYPE	5B	NEW WALLS - 2 X 4 @ 16" O.C.	NEW WALLS - 2 X 4 @ 16" O.C.
		NEW CONC. FLOOR WALLS - 12" MIN. THICK	NEW CONC. FLOOR WALLS - 12" MIN. THICK

**BACH + CLARK, L.L.C.**  
ARCHITECTURE  
1000 W. 10TH AVE., SUITE 100  
DENVER, CO 80202  
PHONE: (303) 432-1000  
FAX: (303) 432-1001

PROJECT: OFFICE PLAN ALTERATIONS  
OWNER: REAL ESTATE INVESTMENTS INC.  
LOCATION: 13 BROADWAY  
HELEND, FL 07728

REVISIONS  
DATE: 07-20-20  
DRAWN BY: [Signature]  
PROJECT NO.: A-2



**BACH + CLARK, L.L.C.**  
ARCHITECTURE  
10 Zions Road, Suite 100, NJ 07728  
PHONE 609 627-0123  
NEW JERSEY L.C. 0210

**PROJECT** OFFICE PLAN ALTERATIONS  
**OWNER** REAL ESTATE INVESTMENTS INC.  
**LOCATION** 13 BROADWAY, FREDERICK, MD, 07728  
**DATE** 07-15-20  
**SCALE** 1/4" = 1'-0"

**EXISTING & PROPOSED ELEVATIONS**  
AS NOTED  
DATE 07-15-20  
DRAWN BY JAC  
CHECKED BY JAC  
SCALE 1/4" = 1'-0"

**A-3**



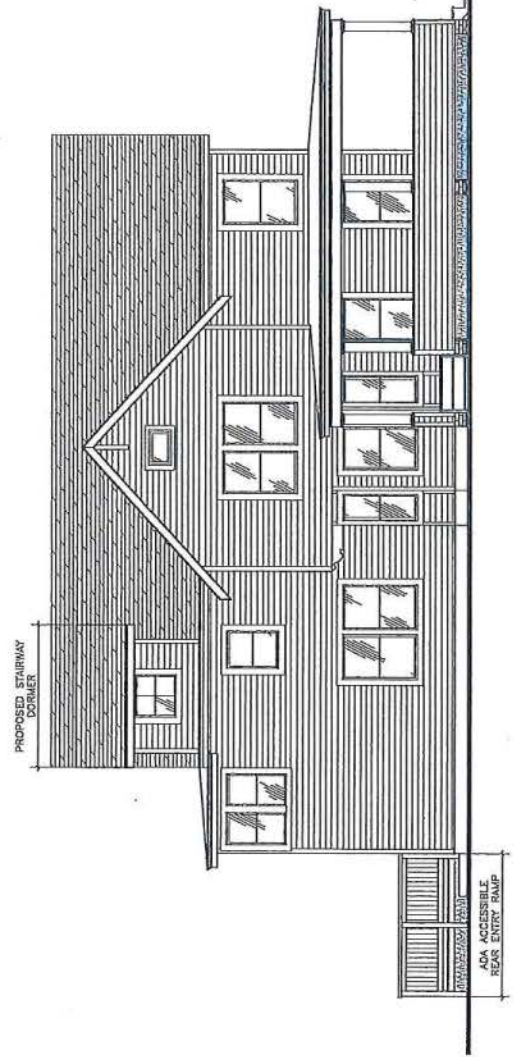
**EXISTING SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



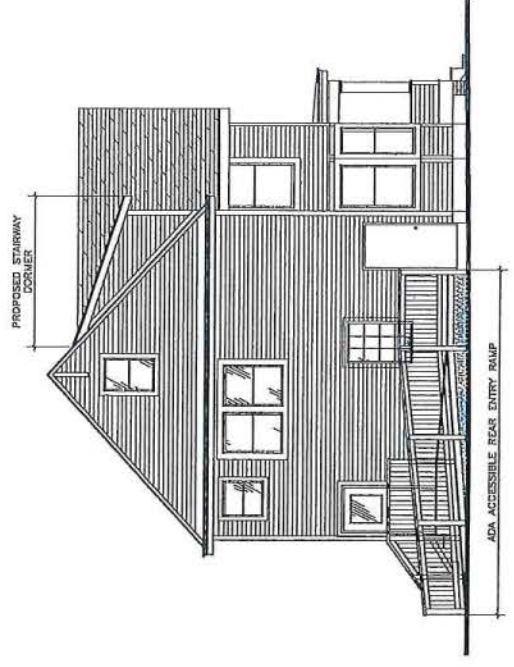
**EXISTING SOUTHEAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**PROPOSED SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**PROPOSED WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



RESOLUTION OF THE HISTORIC PRESERVATION ADVISORY COMMISSION

RE: 13 Broadway Realty, LLC (APPLICANT)  
13 Broadway (PROPERTY ADDRESS)

WHEREAS, 13 Broadway Realty, LLC has applied to the  
 Historic Preservation Commission (HPC) for approval to/for  
Exterior Alteration to Building  
Dormer, Handicap Ramp, Roof & Siding Repairs  
 on property located at 13 Broadway

WHEREAS, the HPC has reviewed the application and the relevant documents, and has determined that the proposal does/does not have a negative impact on the architectural or historic significance of the property or the historic district, and is/is not consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties, United States Department of the Interior, Washington D.C., as amended and supplemented; and

WHEREAS, a hearing was held on Oct. 26, 2020, and based upon the testimony of Greg Clark - Architect for Applicant, and a review of the evidence, which has been marked as:

- A-1: \_\_\_\_\_;
- A-2: \_\_\_\_\_;
- A-3: \_\_\_\_\_;
- A-4: \_\_\_\_\_;

the HPC has determined that the application may be approved/denied.

NOW, THEREFORE, BE IT RESOLVED, that the within application is hereby approved/denied, with the following recommendations:

- Paint or Replace Siding to Match in color
- White Aluminum Railing for Ramp
- White lattice
- Must Come back to Commission for window Replacement if Needed.

BE IT FURTHER RESOLVED that the approval is subject to the following conditions:

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CHAIRMAN: \_\_\_\_\_

Motion by: Brianne Kozlowski Seconded by: Emily Conley

Ayes: 6 Nays: 0 Absent: \_\_\_\_\_ Abstain: \_\_\_\_\_

\* Note: Greg Clark stepped down to  
present Application.

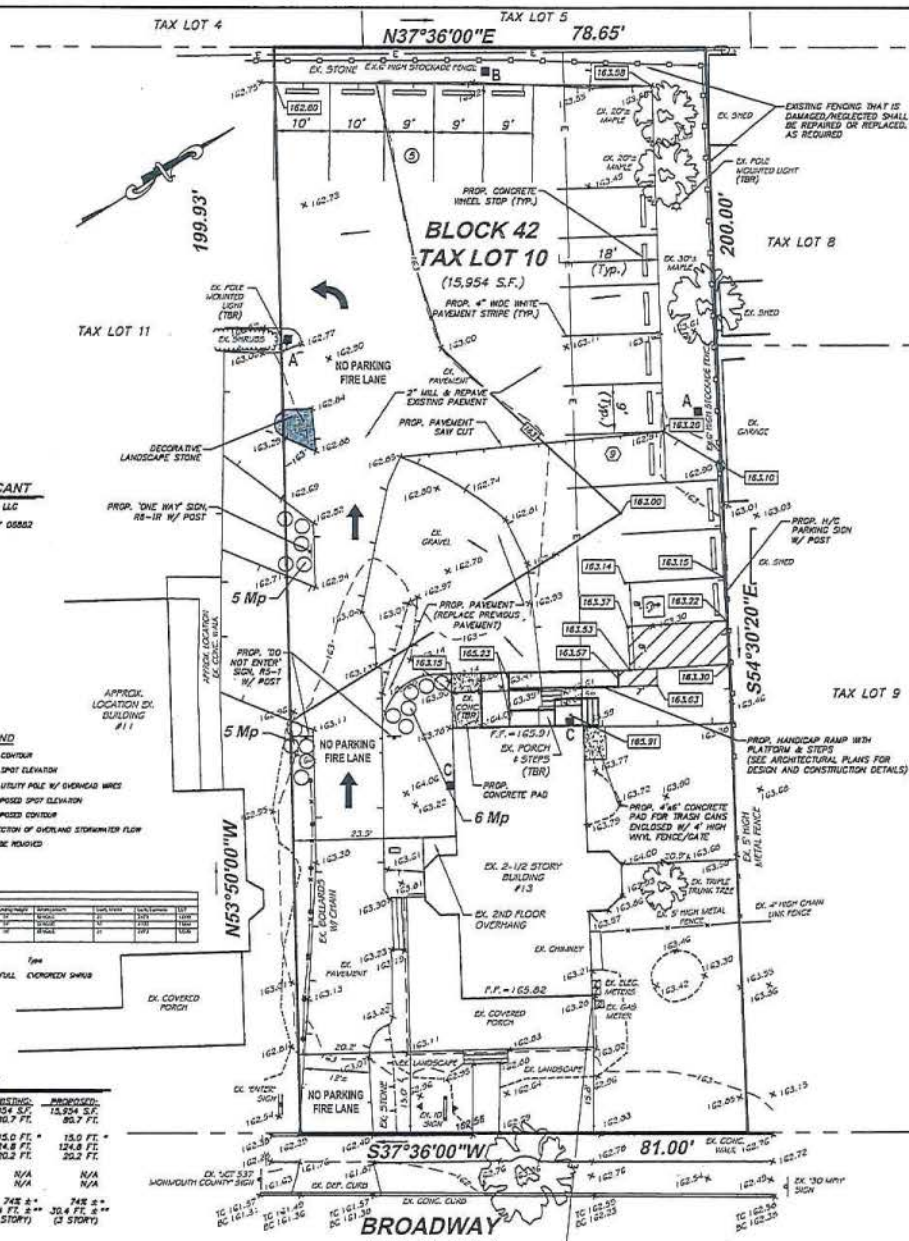


[illegible]

Key	Botanical Name	Common Name
16	<i>Myrica pennsylvanica</i>	Bayberry

PARAMETER	REQUIREMENT	EXISTING	PROPOSED
MINIMUM LOT AREA	2,000 S.F.	15,954 S.F.	15,954 S.F.
LOT WIDTH	80 FT.	80.7 FT.	80.7 FT.
PRINCIPAL BUILDING			
FRONT SETBACK	20 FT.	15.0 FT.	15.0 FT.
REAR SETBACK	20 FT.	12.6 FT.	12.6 FT.
SIDE SETBACK	8 FT.	20.2 FT.	20.2 FT.
ACCESSORY BUILDING			
REAR SETBACK	3 FT.	N/A	N/A
SIDE SETBACK	3 FT.	N/A	N/A
MAXIMUM HEIGHT			
LOT COVERAGE	40%	74% ±	74% ±
BUILDING HEIGHT	35 FT. ±	35 FT. ±	35 FT. ±
	(3 STORY)	(3 STORY)	(3 STORY)

± EXISTING NON-CONFORMITY  
± EXISTING



SCALE: (1 inch = 100 Feet)

5. PROPERTY BEING SHOWN AS BLACK AS TAX LIST IS, AS SHOWN ON SHEET 14 OF THE OFFICIAL TAX MAP OF THE BOROUGH OF FREDDICK. BY PROPERTY CONTAINS APPROXIMATELY (LESS) FOLLOWING CITY AND IN REMAINS BEING THE OTHER COMMERCIAL. (2-11-2006)

- [illegible]

SECTION 18.36.020 WHICH DOES NOT SPECIFICALLY LIST A GROUP

- SECTION 18.36.050  
INNOW REQUIRES A PRINCIPAL BUILDING WITHIN THE B-1 ZONE TO HAVE A MINIMUM FRONT SETBACK OF 30 FEET; WHEREAS THE EXISTING BUILDING HAS A FRONT SETBACK OF 15 FEET, THE FRONT COVERED PORCH.
- SECTION 18.36.050  
INNOW REQUIRES A LOT WITHIN THE B-1 ZONE TO HAVE A MAXIMUM LOT COVERAGE OF 40%; WHEREAS THE EXISTING LOT HAS A LOT COVERAGE OF 74%.
- APPROVED BY  
FREEHOLD BOROUGH PLANNING BOARD

**Abstract**

DATE \_\_\_\_\_ CHAIRPERSON \_\_\_\_\_  
ATTEST \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE \_\_\_\_\_ BOROUGH ENGINEER  
WILLIAM T. WENTZEN, P.E.

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<u>EXISTING IMPROVEMENTS</u>	
DWELLING & COVERED PORCH PAVED & GRAVEL DRIVEWAY WALKWAYS, PORCHES & STEPS	= 1,824 SQUARE FEET = 2,787 SQUARE FEET = 178 SQUARE FEET <b>TOTAL = 11,170 SQUARE FEET</b>
<u>PROPOSED IMPROVEMENTS</u>	
EX DWELLING EX PAVED & GRAVEL DRIVEWAY EX WALKWAYS, PORCHES & STEPS PROP. NONCAMP RAIMP	= 1,824 SQUARE FEET = 8,652 SQUARE FEET = 178 SQUARE FEET = 72 SQUARE FEET

13 DECAWAY  
FREEHOLD BOROUGH  
MONMOUTH COUNTY - NEW JERSEY

CDON 16.24.030.A.13 WHICH RESTRICTS PARKING WITHIN THE FRONT

**Geller  
Sive &  
Company** Consulting Engineers & Planners  
Civil • Site • Transportation  
Traffic • Municipal

Office Location: 958 Adelphi Road, Adelphi, NJ 07710  
Marketing Address: PO Box 248, Adelphi, NJ 07718  
Phone: 732-625-7713  
[www.gellersive.com](http://www.gellersive.com)

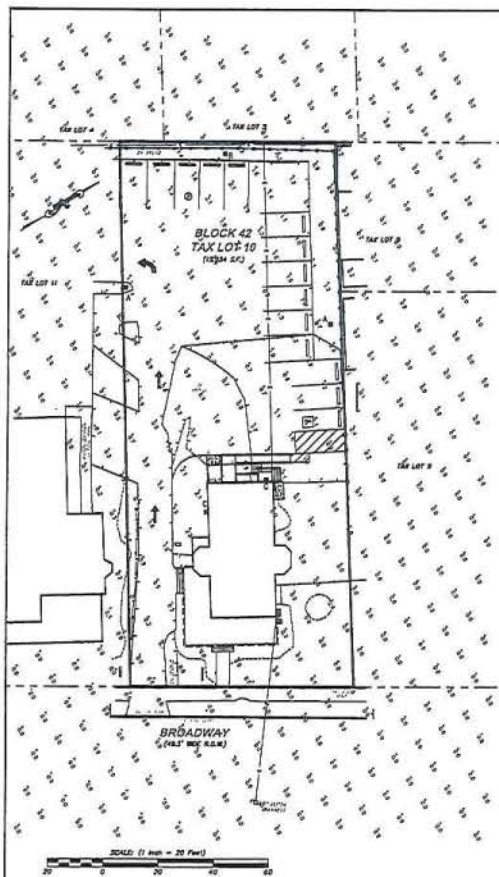
WARRANT FOR ARREST OF: WILLIAM ROBERTSON BARBARA ANN-ALL BAY FRONT

- CITON 18.24.030.A.15 WHICH REQUIRES ALL PARKING SPACES SHALL BE PROVIDED WITH CURBING OR THE EQUIVALENT; WHEREAS NO CURBING EXISTS.

SCALE (1 inch = 10 Feet)

<b>ROBERT SIVE</b>				DATE	
<i>N.J. Professional Engineer No. 43815</i>					
DESIGNED BY	CS	DATE	SCALE	SHEET	JOB NUMBER
CHECKED BY	CC	9/11/2020	1" = 10'	1 OF 2	2969





LIGHTING PLAN

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	10' HIGH STREET LIGHT	10	EA	150.00	1500.00
2	5' HIGH STREET LIGHT	10	EA	75.00	750.00
3	10' HIGH STREET LIGHT	10	EA	150.00	1500.00
4	5' HIGH STREET LIGHT	10	EA	75.00	750.00
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#### LIGHTING NOTES

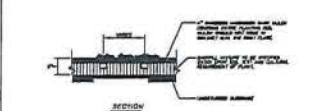
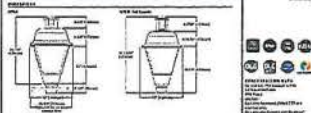
1. LIGHT POLES AND FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
2. PARKING AREA LIGHTING SHALL BE ON TIMERS TO OPERATE FROM ONE (1) HOUR PRIOR TO SUNSET TO SUNRISE, AND FROM DUSK TO ONE (1) HOUR AFTER DUSK, WITH THE EXCEPTION OF SECURITY LIGHTING.
3. SITE LIGHTING, EXTERIOR PLANTS AND SPRAY BURNERS ARE THE RESPONSIBILITY OF OWNER.
4. THIS LIGHTING PLAN WAS PROVIDED WITH ASSISTANCE FROM COOPER LIGHTING, FRENCHVILLE, NJ.
5. ALL LIGHTS SHALL BE SHIELDED AS NECESSARY TO PREVENT GLARE FROM REFLECTING ONTO ADJACENT STREETS AND PROPERTIES.



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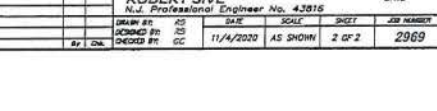
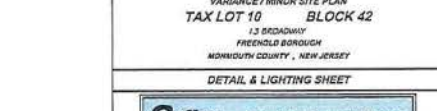
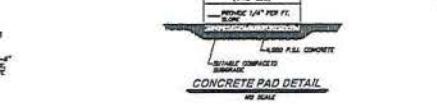
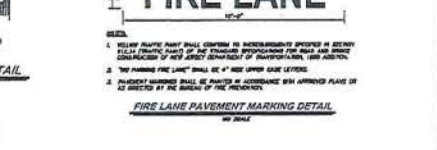
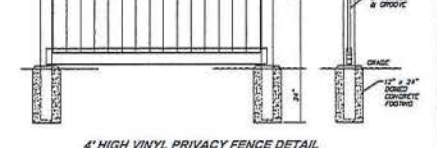
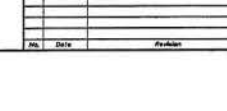
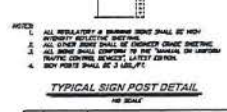
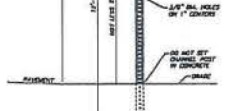
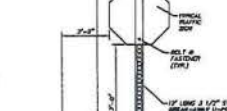
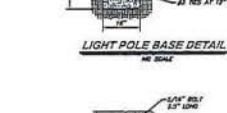
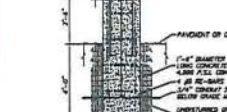
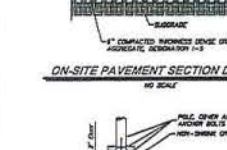
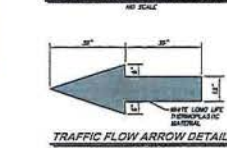
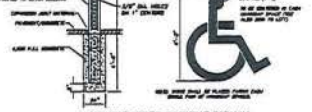


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VARIANCE / MINOR SITE PLAN  
TAX LOT 10 BLOCK 42  
FRENCHVILLE BOROUGH  
MONMOUTH COUNTY, NEW JERSEY

DETAIL & LIGHTING SHEET

**Geller Sive & Company**  
Consulting Engineers & Planners  
Civil - Site - Transportation  
Traffic - Municipal

Office Location: 1000 Highway 100, Frenchville, NJ 07730  
Shading Address: 1000 Highway 100, Frenchville, NJ 07730  
Phone: 732-432-7919  
Fax: 732-432-7919  
Email: info@geller-sive.com

ROBERT SIVE  
N.J. Professional Engineer No. 43816

DATE: 11/4/2020  
SCALE: AS SHOWN  
SHEET: 2 OF 2  
JOB NUMBER: 2969

Linda Detore  
Freehold Letip  
Area Representative  
18-20 E Main Street  
Freehold, N J 07728

To whom it may concern

I'm a local business owner for 29 years and have known Mr. Vaysberg for a least 10. During this time period he has demonstrated that he is a very honest, hardworking and reliable person. Mark has been very helpful to the Letip chapter with his professional and outgoing personality.

He was a member of Freehold Letip for approximately 9 years and within that time he has worked closely with many members of the chapter and the community.

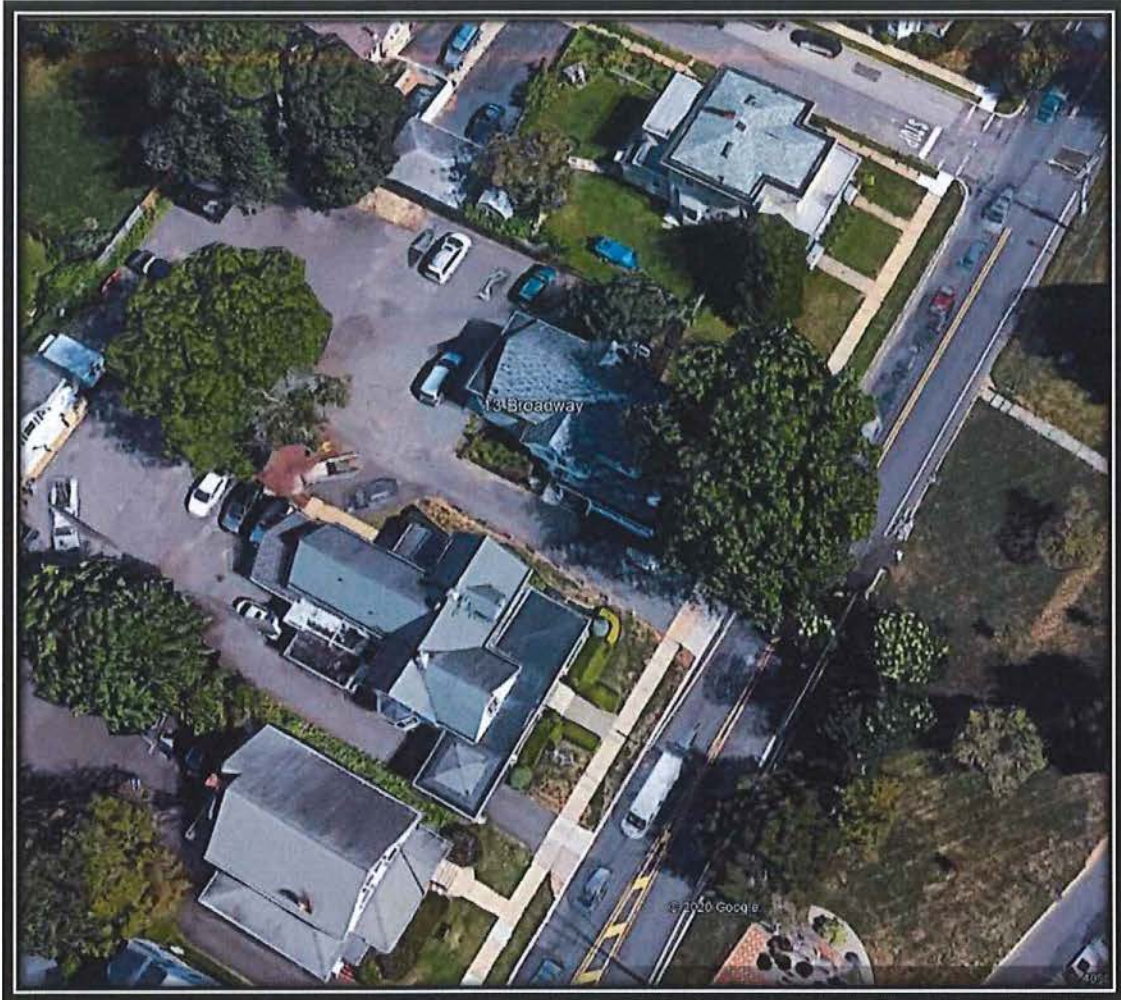
Mr. Vaysberg has been a pleasure to work with. He is a credit to his profession and a great networker.

Sincerely,  
Linda Detore  
732-616-7935

---



# Freehold Borough 13 Broadway Tree Assessment Report

**Prepared by:**

Shelterwood Forest Managers, LLC  
5 Wildwood Way  
Freehold, NJ 07728  
William F. Brash Jr., Forester  
NJ Approved Consulting Forester  
Certified Tree Expert, CTE #375

**Prepared for:**

Freehold Borough Planning Board  
51 West Main Street  
Freehold, NJ 07728  
Secretary: Dominica Napolitano



**SUMMARY:** Shelterwood Forest Managers, LLC was contracted by Freehold Borough to conduct a basic tree risk assessment and evaluation for 1 tree located at 13 Broadway. This tree was individually evaluated, photographed, acoustically sounded and assessed using a Level 1 visual assessment.

*In total this One (1) street tree was tallied, evaluated and are included in this report. The tree at 13 Broadway was Quercus rubra, Northern Red oak and is approximately 100-150 years old. The tree measured 46" diameter at breast height (dbh) and was 93 feet in height.*

#### **METHODOLOGY: Visual Tree Assessment (VTA)**

There are a number of published methodologies the professional arboriculturist can follow when inspecting trees. The bottom line is that whichever process is used, it must be a logical, systematic and diagnostic approach.

Additionally the inspection should consider the surrounding environment, in which the trees are growing, with particular attention to the site history and any recent changes. An important note is the time period used in the risk assessment. In this case a 3-year time period was used in the assessment. The trees evaluated were believed to be reasonably free of defect and risk for the period of a year. Increasing the time period increases the uncertainty and increases the estimates of removals and pruning.

The most widely used approach, when inspecting trees, is Visual Tree Assessment (VTA), as devised by Claus Mattheck. The assessment consists of 3 stages and compares the tree being inspected to a notional healthy, vigorous and defect free specimen.

*It is important to note that even healthy, vigorous and defect free specimens have a natural failure rate. Also note that these are only visual inspections from the perspective of ground level. Defects both hidden from below by position or height or root defects below ground cannot be determined by this level of assessment.*

#### **Level 1 Assessment:**

- 🌳 Identify the location and selection criteria for trees to be assessed.
- 🌳 Determine the most efficient route and document the route taken.
- 🌳 Assess the tree(s) of concern from the defined perspective, i.e. route taken, walk or drive.
- 🌳 Record location and condition of trees along the defined route (Crescent Parkway)
- 🌳 Evaluate the risk.
- 🌳 Identify trees needing a higher level of assessment and/or prompt action.
- 🌳 Submit recommendations or report.

The following conditions were used to evaluate the tree risk along the streets in Freehold Borough using a visual inspection performed on the ground.

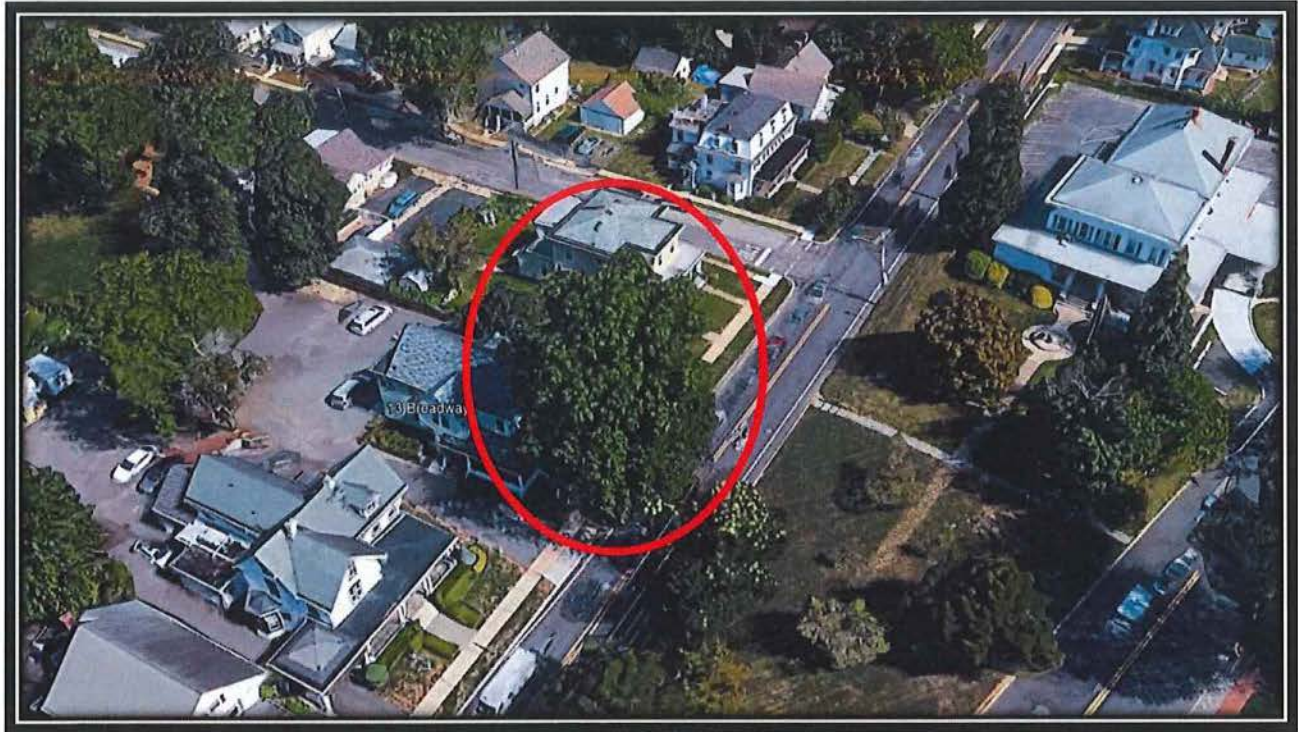
#### **Major Defects and Tree Conditions**

1. Root collar/Root plate - loss of support
2. Decay (root, trunk, structural limbs)
3. Cracks (trunk, structural limbs, branches >2")
4. Codominant stems (and/or Included bark)
5. Dead parts
6. Broken and/or hanging branches
7. Unusual tree architecture (lean, taper, limb/branch distribution, cultural)



*It is important to note that even healthy, vigorous and defect free specimens have a natural failure rate. Also note that these are only visual inspections from the perspective of ground level. Defects both hidden from below by position or height or root defects below ground cannot be determined by this level of assessment.*

**Freehold Borough  
13 Broadway  
2012 Imagery – NJDEP**

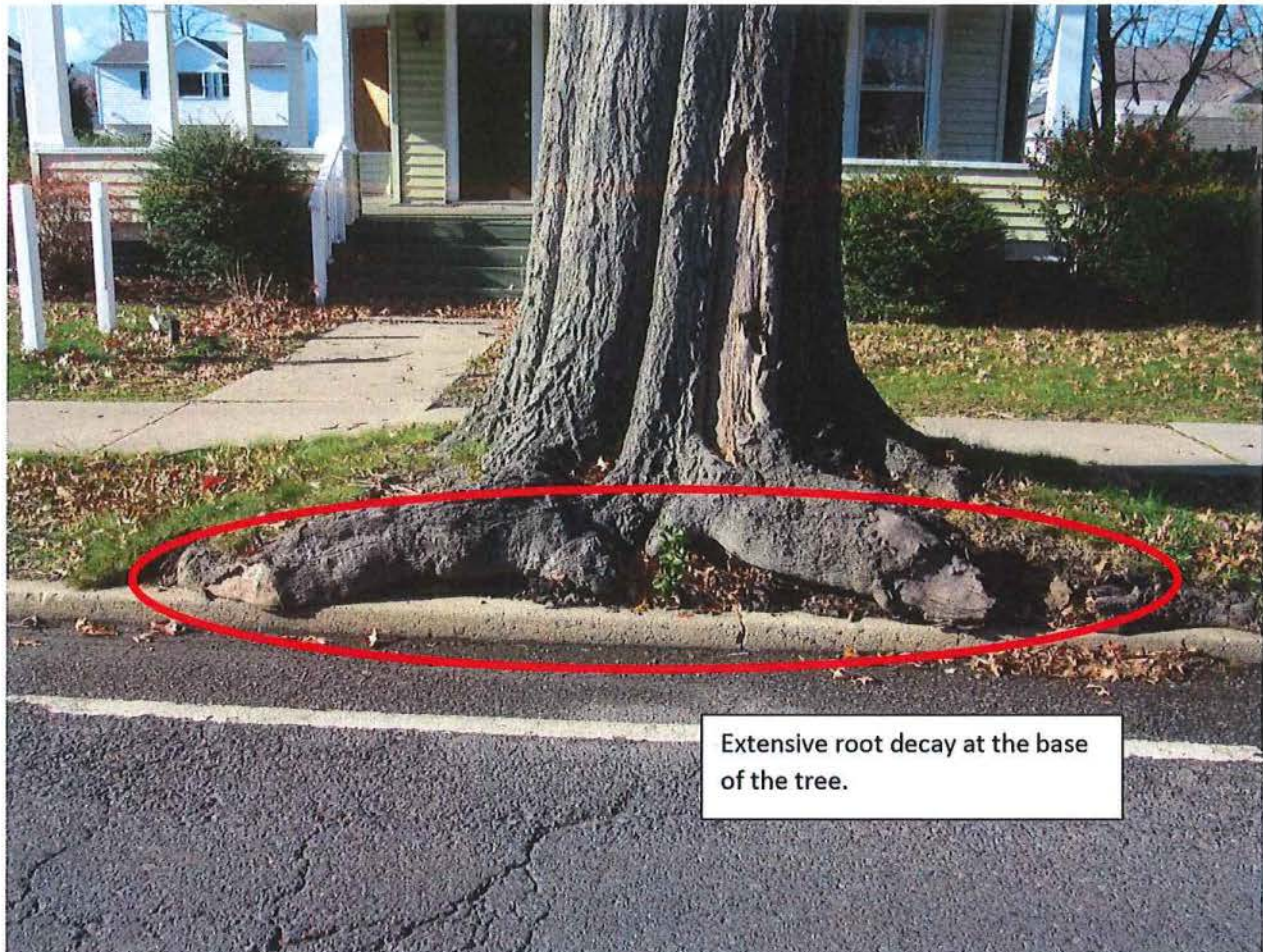


**Tree Assessed – 13 Broadway: 46" dbh, Red oak, 93' in height.**

The single tree included in this assessment was estimated to be between 100-150 years old. The tree showed multiple pruning cuts that remain unsealed with visible interior decay initiated from the unsealed pruning cuts. This tree showed root impacts from sidewalk and curb construction occurring within the past 10-15 years. This tree showed multiple impacts from snow plows at the base of the trunk over many years and decay is advanced in these locations, right where the tree trunk meets the ground on the Broadway (streetside). This tree showed extensive trunk cracking probably from one (1) or more lightning strikes over the years. The tree dominates the area being the largest tree in the vicinity. There are some large dead branches with visible decay and fungi conks (fruiting bodies) can be seen in some branches.



All pruned areas showed little or no reaction wood response to the pruning. This condition shows the tree is in decline and is having difficulty maintaining basic processes. Twig growth was 1 ½ -2 inches, well below the normal twig growth of this species. This reduction in growth was probably a result of the past two years of late growing season drought and the overall declining condition of the tree.



This tree has significant decay in the trunk portion of the tree due to a combination of long term impacts.

1. Root cutting for curb construction.
2. Snow plow impacts.



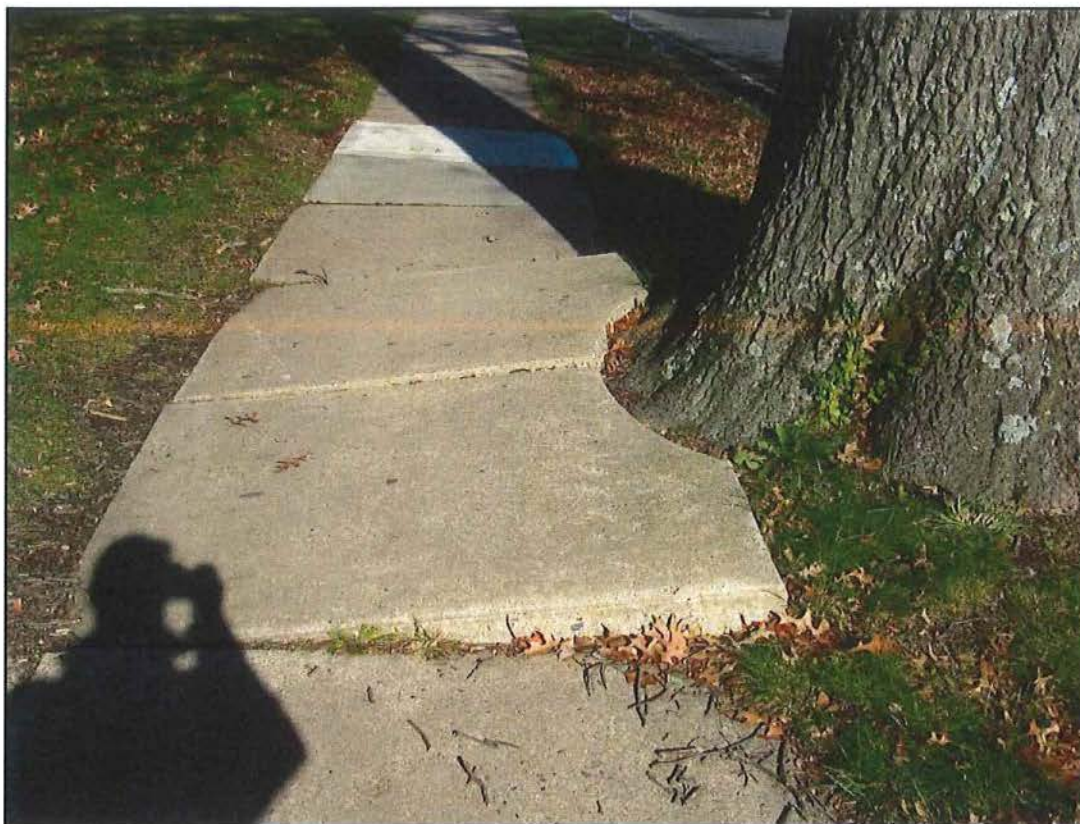


This tree has had its roots severed at the curb, when the curb was installed. The roots of this tree show extensive decay where the curb construction required root removal and where the snow plows over the years impacted the trunk multiple times.

This tree has a compromised structure at the base where the roots meet the ground and is at an increased risk of failure. A red oak of this diameter and height weighs in excess of 10 tons (20,000 lbs)\* along one of the busiest streets in Freehold Borough that is filled with constant targets below it. (Cars and pedestrians).

\* <https://www.uaex.edu/publications/pdf/FSA-5021.pdf>





This trees roots have been cut on the sidewalk side to install sidewalk over the years. The trees roots have grown and deflected the sidewalk approximately 6 inches. Any required sidewalk reconstruction would require extensive root cutting and excavation further injuring the tree and increasing the likelihood of failure.



This tree shows multiple and extensive trunk cracks greater than 6 feet long. These cracks were probably the result of lightning strikes.







This tree shows multiple large branches that have structurally failed over the years with decay evident where the failures (breaks) occurred.





Decay is evident in both the lower portion of the tree (root decay shown earlier) as well as visible decay in some large branches in the upper canopy. Here fungi conks (fruiting bodies) can be visibly seen for the entire length of a 4" diameter branch. Fungi infected wood is less structurally sound than non-diseased wood.

#### **RECOMMENDATION:**

After evaluating this Red oak tree and seeing the accumulation of impacts to this tree over time: unsealed pruning cuts, little or no twig growth, extensive trunk decay from snow plows, trunk cracks from lighten strikes curb and sidewalk installation, dead limbs, severed roots, and a decaying root cap, my recommendation is to remove this trees as soon as possible and plant two replacements. Using a 3-year review period this tree will simply continue to decline and pose an increasing hazard for the next 3 years. Removing this tree and replacing it with healthy trees with 3 years of growth is preferred. No possible hazards for 3 years and 3 years of growth on the new trees to gain size and stature.

### **Suggested Replacement Trees**

Replacement trees should be 2-2.5" caliper (10-12' tall) balled and burlapped. Quantity of 2.

<b>Scientific Name</b>	<b>Common Name</b>	<b>Notes</b>
<i>Tilia cordata</i>	Littleleaf linden	Medium sized shade tree with orderly and pleasing crown.
<i>Zelkova serrulata</i> "Green vase"	Japanese zelkova	V-shaped medium sized and hardy shade tree.
<i>Quercus bicolor</i>	Swamp white oak	Tolerant of salt. Hardy and stately shadetree.





This tree shows multiple large branches that have structurally failed over the years with decay evident where the failures (breaks) occurred.





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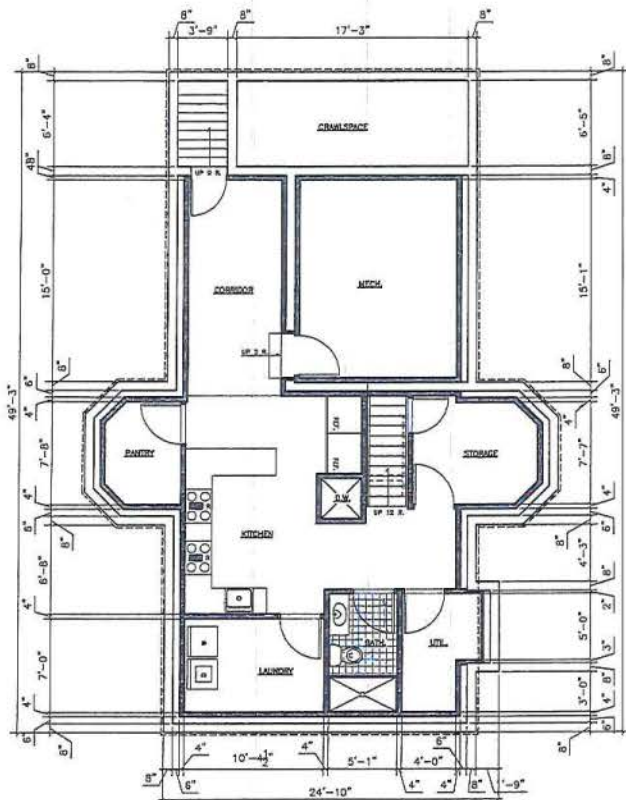
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### **Suggested Replacement Trees**

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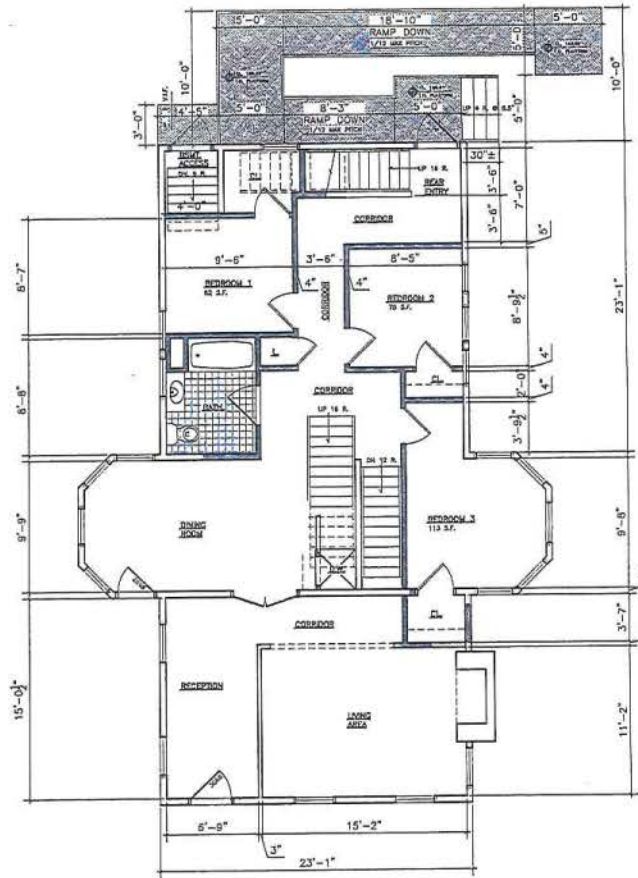
<b>Scientific Name</b>	<b>Common Name</b>	<b>Notes</b>
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Zelkova serrulata "Green vase"	Japanese zelkova	V-shaped medium sized and hardy shade tree.
Quercus bicolor	Swamp white oak	Tolerant of salt. Hardy and stately shadetree.



**BASEMENT PLAN**

SCALE: 1/4" = 1'-0"

SECOND LEVEL AREA: 920 S.F.



**FIRST LEVEL PLAN**

SCALE: 1/4" = 1'-0"

SECOND LEVEL AREA: 1,221 S.F.

DESIGN LOADS	L.L.	D.L.	T.L.	AREA COMPUTATIONS	AREA (S.F.)	AREA (C.F.)
2ND FLOOR	70 PSF	20 PSF	90 PSF	FIRST LEVEL	1,221 S.F.	9,768 C.F.
ATTIC	70 PSF	20 PSF	90 PSF	SECOND LEVEL	1,157 S.F.	9,256 C.F.
ROOF	30 PSF	20 PSF	50 PSF	ATTIC	480 S.F.	3,447 C.F.
BASEMENT	SLAB ON GRADE			BASEMENT (HABITABLE)	920 S.F.	7,360 C.F.
				COMBINED AREA (S.F.)	3,758 S.F.	29,831 C.F.

BUILDING DATA		WALL SYMBOLS	
USE GROUP	R-4	--- EXIST. WALLS TO BE REMOVED	
CONSTRUCTION TYPE	5B	--- EXIST. WALLS TO REMAIN - NEW FINISH AS NOTED	
		--- NEW WALLS - 2 X 4 @ 16" O.C.	
		--- NEW CONCRETE BLOCK WALLS - PERMIT AS NOTED	

**BACH + CLARK, L.L.C.**  
ARCHITECTS

PROJECT: OFFICE PLAN ALTERATIONS  
OWNER: INVESTMENTS INC.  
LOCATION: 13 BROADWAY  
FREDRICK, N.J. 07728

SUBJECT: PROPOSED FIRST LEVEL - BASEMENT PLAN

REVISIONS

SCALE: AS NOTED

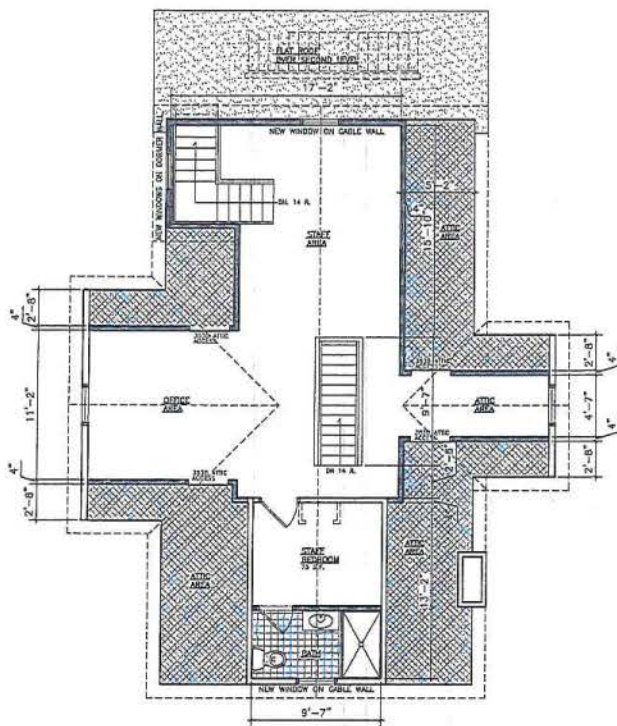
DATE: 11-08-08

DRAWN BY: CC

PROJECT

SHEET NO.: A-1



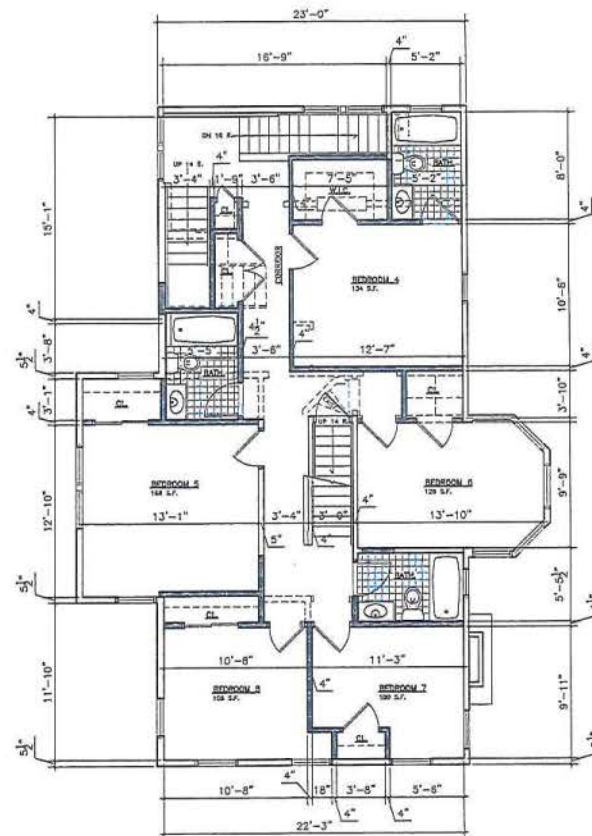


### PROPOSED ATTIC LEVEL PLAN

SCALE: 1/4" = 1'-0"  
ATTIC LEVEL AREA: 460 S.F.

#### ATTIC FINISH NOTES:

1. ROOF TO BE INSULATED W/R-21 OR BETTER.
2. COLLAR TIES @ 24" O.C. 8'-0" A.F.F.
3. INSTALL 1/2" CYPSO. ON UNDERSIDE OF RAFTERS.
4. VENT RAFTER CAVITIES.



### PROPOSED SECOND LEVEL PLAN

SCALE: 1/4" = 1'-0"  
SECOND LEVEL AREA: 1,157 S.F.

DESIGN LOADS	L.L.	D.L.	T.L.	AREA COMPUTATIONS	AREA (S.F.)	AREA (C.F.)
2ND FLOOR	70 PSF	20 PSF	90 PSF	FIRST LEVEL	1,221 S.F.	9,768 C.F.
ATTIC	70 PSF	20 PSF	90 PSF	SECOND LEVEL	1,157 S.F.	9,256 C.F.
ROOF	30 PSF	20 PSF	50 PSF	ATTIC	460 S.F.	3,447 C.F.
BASEMENT	SLAB ON GRADE			BASEMENT (HABITABLE)	920 S.F.	7,360 C.F.
COMBINED AREA (S.F.)					3,758 S.F.	29,831 C.F.

#### BUILDING DATA

USE GROUP  
CONSTRUCTION TYPE

R-4  
5B

#### WALL SYMBOLS

EXIST. WALLS TO BE REMOVED  
EXIST. WALLS TO REMAIN - NEW FINISH AS NOTED  
NEW WALLS - 2 X 4 @ 16" O.C.  
WOOD STUDS  
NEW CONCRETE WALLS -  
MIN. 20" THICK

**BACH + CLARK, L.L.C.**  
**ARCHITECTURE**  
10 Ridge Road, Levittown, PA 19053  
PHILADELPHIA, PA 19104  
NEW JERSEY, NJ 07033

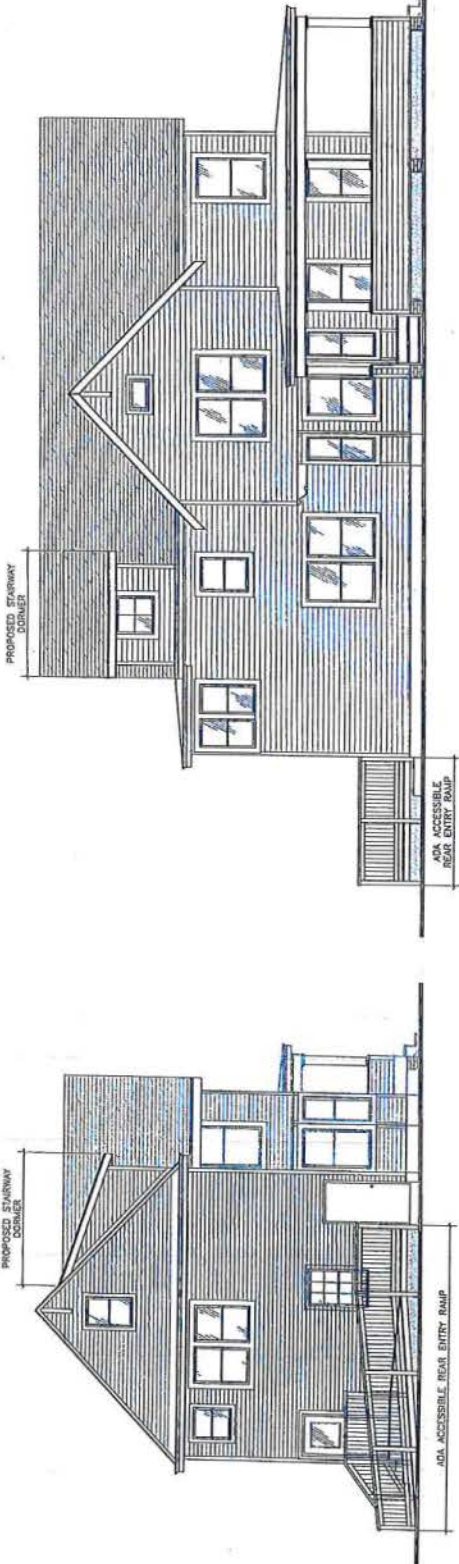
PROJECT: OFFICE PLAN ALTERATIONS  
OWNER: BACH + CLARK, L.L.C.  
LOCATION: 13 BROADWAY  
FRESHFIELD, N.J. 07728

SUBJECT: PROPOSED SECOND  
LEVEL - ATTIC PLAN  
REVISIONS

SCALE: AS NOTED  
DATE: 11-09-08  
DRAWN BY: CC  
PROJECT: SHEET NO. A-2

**SUBJECT**  
**EXISTING & PROPOSED**  
**ELEVATIONS**

**BACH + CLARK, L.L.C.**  
**ARCHITECTURE**  
10 Zedden Road Long Valley, NJ 07635  
PHONE: (201) 467-0215  
bclark@bclarkarch.com  
NEW JERSEY LIC. #13410





LINE	SYMBOL	DESCRIPTION
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41	2	CONTRACTS OF GUARANTEE CORPORATION
42	3	CONTRACTS OF GUARANTEE CORPORATION
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99	60	CONTRACTS OF GUARANTEE CORPORATION
100	61	CONTRACTS OF GUARANTEE CORPORATION

Symbol	Label	Description
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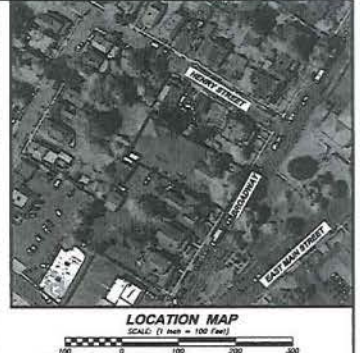
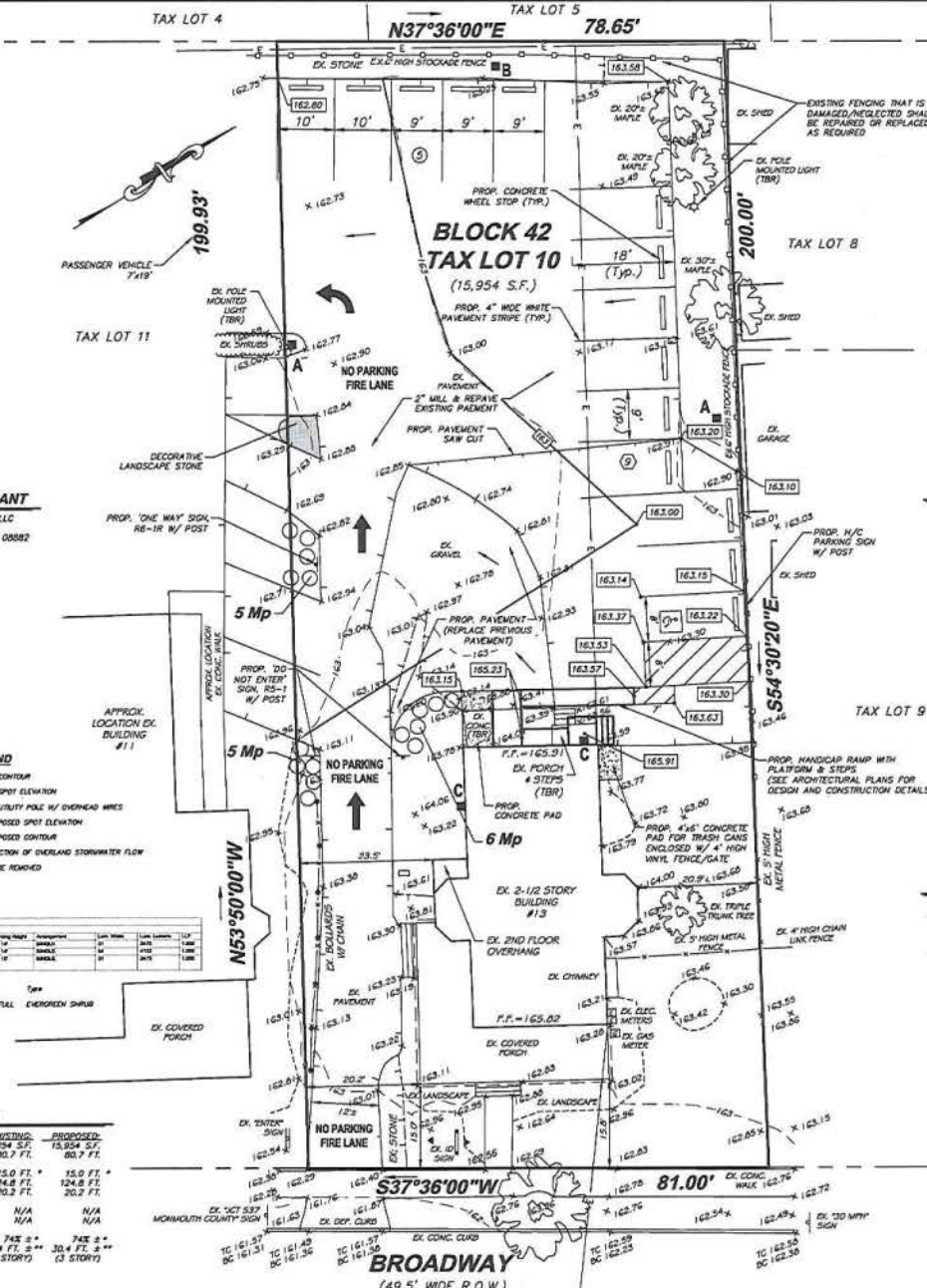
Key	Botanical Name	Common Name
-----	----------------	-------------

16 *Myrica pennsylvanica* Bayberry

**ZONE : OFFICE COMMERCIAL DISTRICT - S-1**

LOVE, OFFICE COMMERCIAL DISTRICT - 2P			
MINIMUMS	REQUIRED	EXISTING	PROPOSED
LOT AREA	8,000 SF	15,504 SF	15,504 SF
PRINCIPAL BUILDING	30 FT.	80.7 FT.	80.7 FT.
FRONT SETBACK	30 FT.	15.0 FT.	15.0 FT.
REAR SETBACK	30 FT.	124.8 FT.	124.8 FT.
SIDE SETBACK	8 FT.	20.2 FT.	20.2 FT.
ACCESSORY BUILDING			
REAR SETBACK	3 FT.	N/A	N/A
SIDE SETBACK	3 FT.	N/A	N/A
MAXIMUMS			
LOT COVERAGE	40%	74% ±	74% ±
BUILDING HEIGHT	35 FT.	30 FT. ±	30 FT. ±

\* EXISTING NON-CONFORMITY  
\*\* RIDGE HEIGHT



---

- [illegible]

---

- SECTION 18.36.020 WHICH DOES NOT SPECIFICALLY LIST A GROUP HOME AS A PERMITTED USE.
- SECTION 18.36.050 WHICH REQUIRES A PRINCIPAL BUILDING WITHIN THE B-1 ZONE TO HAVE A MINIMUM FRONT SETBACK OF 30 FEET, WHEREAS THE EXISTING BUILDING HAS A FRONT SETBACK OF 15 FEET TO THE FRONT COVERED PORCH.
- SECTION 18.36.050 WHICH REQUIRES A LOT WITHIN THE B-1 ZONE TO HAVE A MAXIMUM LOT COVERAGE OF 40%; WHEREAS THE EXISTING LOT HAS A LOT COVERAGE OF 74% ±.

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<u>EXISTING IMPERVIOUS</u>	
DWELLING & COVERED PORCH	= 1,824 SQUARE FEET
PAVED & GRAVEL DRIVEWAY	= 6,797 SQUARE FEET
WALKWAYS, PORCHES & STEPS	= 178 SQUARE FEET
TOTAL	= 11,799 SQUARE FEET
<u>PROPOSED IMPERVIOUS</u>	
EX. DWELLING	= 1,824 SQUARE FEET
EX. PAVED & GRAVEL DRIVEWAY	= 6,696 SQUARE FEET
EX. WALKWAYS, PORCHES & STEPS	= 178 SQUARE FEET
PROP. HANDICAP RAMP	= 72 SQUARE FEET
TOTAL	= 11,769 SQUARE FEET

---

- SECTION 16.24.030.A.13 WHICH RESTRICTS PARKING WITHIN THE FRONT AND SIDE YARD AREAS; WHEREAS THE EXISTING PARKING IS WITHIN THE SIDE YARDS.
- SECTION 16.24.030.A.15 WHICH REQUIRES ALL PARKING SPACES SHALL BE PROVIDED WITH CURBING OR THE EQUIVALENT; WHEREAS NO CURBING EXISTS.

APPROVED BY  
**FREEHOLD BOROUGH PLANNING BOARD**

DATE \_\_\_\_\_ CHAIRPERSON \_\_\_\_\_

ATTEST \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE \_\_\_\_\_ BOROUGH ENGINEER \_\_\_\_\_  
WILLIAM F. HENTZEN, P.E.  
NEW JERSEY LICENSE NO. 27799



3	11/11/2020	REV. IN ACCORD. W/ BOPOLASH ENGINEER'S COMMENTS		AS
4	11/14/2020	REV. IN ACCORD. W/ PLANNING BOARD 10/28/2020 MEETING		AS
No.	Date	Revision		By

**VARIANCE / MINOR SITE PLAN**  
**TAX LOT 10      BLOCK 42**  
13 BROADWAY  
FREEHOLD BOROUGH  
MORRIS COUNTY, NEW JERSEY

[illegible]

**Geller Sive & Company** Consulting Engineers & Planners  
Cvrl - Site - Transportation  
Traffic - Municipal

Office Location: 158 Adelphi Road, Adelphi, NJ 07710  
Mailing Address: PO Box 349, Adelphi, NJ 07710  
Phone: 732-425-7919  
www.galliative.com  
Certificate of Authorization No. 26CA29180306

**ROBERT D. SIVE** DATE  
N.J. Professional Engineer No. 43816

DATE	SCALE	SHEET	JOB NUMBER
9/11/2020	1" = 10'	1 OF 2	2969





